

MASON COURTS APARTMENTS



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STATEMENT OF COMPLIANCE

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTURAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 111. ADM. CODE 400)

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES.

Signed: _____
Architect/Engineer

ILLINOIS REGISTRATION NO.: 001-015480
Exp. Date: 11/30/2024
ILLINOIS PROFESSIONAL DESIGN FIRM
REGISTRATION NO. 184003452

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MASON COURTS APARTMENTS

275 N. STREET, SYCAMORE, IL 60178

23-16020
Project Number

Date

01/23/2024

PT

Appd.

RGB

ARCHITECT

OWNER

CONTRACTOR

BONDING CO.

COVER SHEET

REVISION DATE

Sheet No:

G000

DIMENSION PLAN GENERAL NOTES:

- INTERIOR DIMENSIONS ARE TO FACE OF METAL STUD OR CMU UNIT AND TO CENTERLINES OF COLUMNS, U.N.O.
- REFER TO CODE PLANS FOR GRAPHIC REPRESENTATION AND UL DESIGNS OF RATED AND SMOKE PARTITIONS.
- EXTEND PARTITIONS TO UNDERSIDE OF STRUCTURE/DECK, U.N.O.
- SEE PLANS AND DETAIL PLANS FOR CHASE DIMENSIONS.
- FINAL WALL PREP REQUIREMENTS ARE BASED ON FINISH SHOWN IN ROOM FINISH SCHEDULE AND WITH THE SPECIFICATIONS.
- REFER TO DETAIL PLANS AND SECTIONS FOR FURTHER DESCRIPTION OF INTERIOR PARTITIONS.
- BACK-TO-BACK OUTLETS CANNOT OCCUPY SAME STUD CAVITY SPACE. IN ACOUSTICALLY TREATED WALLS, PROVIDE ACOUSTIC PUTTY PADS AROUND OUTLET BOXES.
- WHERE SEPARATION WALLS INTERSECT PERIMETER FURRING, PROVIDE FURRING STUDS AND SOUND INSULATION TO STRUCTURE ABOVE. EXTEND 24" MIN. ON EITHER SIDE OF SEPARATION WALL.
- REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THESE AREAS.

FINISH PLAN GENERAL NOTES:

- FINISH INDICATES ENTIRE SURFACE, U.N.O.
- FINISH ON SOFFITS INDICATES ENTIRE FACE AND BOTTOM, U.N.O.
- CEILINGS AND SOFFITS TO BE PT, U.N.O.
- HOLLOW METAL FRAMES TO BE
- CEILINGS TO BE PAINTED, U.N.O.
- SCORED TILES AROUND DRAIN AREAS FOR SLOPE.

DEMOLITION GENERAL NOTES:

- VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID SUBMISSION. DISCREPANCIES BETWEEN CONSTRUCTION INDICATED ON DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY IN WRITING.
- DEMOLISHED ITEMS NOT INDICATED TO BE "DELIVERED TO OWNER" OR "TO BE RELOCATED" SHALL BE REMOVED FROM SITE AS SOON AS POSSIBLE UNLESS THEY ARE TO BE USED FOR REQUIRED PATCHING AND INFILLING OF EXISTING CONSTRUCTION THAT IS TO REMAIN. NO OTHER DEMOLISHED ITEMS SHALL BE STORED ON SITE.
- DEMOLISHED ITEMS NOTED AS "DELIVER TO OWNER" OR "TO BE RELOCATED" SHALL BE REMOVED OR DISASSEMBLED IN SUCH A MANNER THAT WILL NOT DAMAGE THE ITEM AND PREVENT IT FROM BEING RELOCATED. REPAIR OR REPLACE SUCH ITEMS, IF DAMAGED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF DAMAGE HAS OCCURRED, AND SUBMIT A REPAIR SOLUTION TO ARCHITECT FOR REVIEW.
- TEMPORARILY STORE ITEMS INDICATED AS "DELIVER TO THE OWNER" IN AN ONSITE LOCATION, DESIGNATED BY THE OWNER. OWNER SHALL MOVE ITEM(S), AS NECESSARY, TO NOT HINDER OR DELAY PERFORMANCE OF WORK IN AREA.
- TEMPORARILY STORE ITEMS INDICATED AS "TO BE RELOCATED" IN A LOCATION ONSITE AND PROTECT ITEMS FROM DAMAGE PRIOR TO INSTALLATION IN NEW LOCATION.
- ITEMS INDICATED "TO REMAIN" THAT ARE DAMAGED DURING THE PERFORMANCE OF THE DEMOLITION WORK. SUCH DAMAGE SHALL BE REPORTED TO OWNER'S REPRESENTATIVE IMMEDIATELY, AND SUBMIT A REPAIR SOLUTION TO ARCHITECT FOR REVIEW.
- COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION WORK IN EACH AREA OF DEMOLITION. EXISTING CONSTRUCTION IN AREAS ADJACENT TO DEMOLITION WORK SHALL BE PATCHED AND REPAIRED TO MATCH ORIGINAL EXISTING CONDITION AS REQUIRED TO PROVIDE FOR NEW CONSTRUCTION WORK IN AREA OF DEMOLITION.
- ITEMS INDICATED TO BE REMOVED BY OWNER SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK.
- AT LOCATIONS WHERE A PORTION OF EXISTING CONSTRUCTION IS TO BE REMOVED AND PREPARED FOR A NEW INFILL CONSTRUCTION, OR AN OPENING IN A WALL, ROOF, OR FLOOR IS CREATED BY DEMOLITION WORK, CONSTRUCT INFILL WITH SAME MATERIALS AND METHOD OF CONSTRUCTION AS EXISTING ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE SEE ARCHITECTURAL DRAWINGS FOR INFILL CONSTRUCTION INFILL CONSTRUCTION SHALL SMOOTHLY BUTT ADJACENT SURFACES AND MATCH THE FINISH, U.N.O.
- AT LOCATIONS WHERE AN ITEM IS TO BE REMOVED FROM A SURFACE THAT IS TO REMAIN, PATCH AND REPAIR EXISTING SURFACE TO MATCH EXISTING ADJACENT SURFACE, UNLESS INDICATED OTHERWISE.
- EXISTING ITEMS ANCHORED TO CONSTRUCTION THAT IS INDICATED TO BE DEMOLISHED SHALL BE CONSIDERED A PART OF DEMOLISHED CONSTRUCTION AND SHALL BE DEMOLISHED WITH THE INDICATED CONSTRUCTION, UNLESS NOTED OTHERWISE.
- IN CONDITIONS WHERE A WALL OR FLOOR FINISH IS DEMOLISHED CREATING A DISSIMILAR ELEVATION IN ADJACENT FLOOR FINISHES, INSTALL AN APPROVED LEVELING MATERIAL TO BRING LOWER FLOOR FINISH ELEVATION UP TO AN ELEVATION THAT IS FLUSH WITH ADJACENT FLOOR.
- CONSTRUCT TEMPORARY DUST PARTITIONS TO CONTAIN DEMOLITION WORK AND PREVENT CONSTRUCTION DUST FROM ENTERING ADJACENT EXISTING B CONSTRUCTION. SUBMIT LOCATIONS OF THESE PARTITIONS FOR APPROVAL BY OWNER'S REPRESENTATIVE. PARTITION LOCATIONS SHALL NOT IMPEDE OR HINDER EMERGENCY EGRESS FROM BUILDING. SPECIFICATIONS FOR CONSTRUCTION OF DUST PARTITIONS.
- RETAIN DEMOLISHED MATERIALS AS NEEDED FOR INFILLING OPENINGS IN EXISTING CONSTRUCTION SO THAT FINISH MATERIALS WILL PROPERLY ALIGN WITH EXISTING AND MATCH THE EXISTING FINISH. IF DEMOLISHED MATERIALS ARE NOT SALVAGEABLE, NOTIFY OWNER'S REPRESENTATIVE.
- IF EXISTING CONSTRUCTION IS REVEALED NOT CONSTRUCTED OR FINISHED IN A MANNER THAT MATCHES ADJACENT SURFACES, PATCH AREA AS NECESSARY WITH APPROPRIATE MATERIALS AND METHODS OF CONSTRUCTION TO MATCH EXISTING ADJACENT FINISH, OR PREPARE SURFACE FOR INSTALLATION OF NEW FINISH. CONTACT OWNER'S REPRESENTATIVE AS SOON AS POSSIBLE SO THAT CONCEALED CONSTRUCTION MAY BE IDENTIFIED AND SCOPE OF POSSIBLE ADDITIONAL WORK DETERMINED.
- WHEN EXISTING SURFACE IS INDICATED TO BE "PATCHED AND REPAIRED" OR "PREPARED" TO RECEIVE A NEW FINISH MATERIAL, PROVIDE A CONSTRUCTION SURFACE THAT IS CAPABLE OF RECEIVING NEW FINISH MATERIAL.
- WHEN THE TERM "ENTIRETY" IS DIRECTED TO A SPECIFIC ITEM OR ASSEMBLY, DEMOLISH AND REMOVE IDENTIFIED ITEM AND ASSOCIATED CONSTRUCTION PERTINENT TO THE ITEM, INCLUDING, BUT NOT LIMITED TO UNDERGROUND AND CONCEALED CONSTRUCTION, SUCH AS FOOTINGS AND FOUNDATIONS, SEWER, PLUMBING, AND ELECTRICAL WORK. THIS DEMOLITION WORK SHALL BE COORDINATED WITH THE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS.

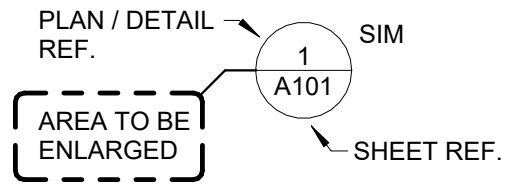
GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR BIDDING REQUIREMENTS, CONTRACT FORMS, GENERAL CONDITIONS OF THE CONTRACT, SUPPLEMENTARY CONDITIONS OF THE CONTRACT, AND TECHNICAL SPECIFICATIONS.
- VISIT/PROJECT SITE, BUILDING AND SURROUNDING CONDITIONS PRIOR TO SUBMITTING A BID. CONTACT ARCHITECT IN WRITING IF THERE IS A CONFLICT BETWEEN DRAWINGS AND EXISTING CONDITIONS, AND OTHER QUESTIONS ARISING FROM CONTRACTORS OBSERVATIONS.
- SEVERAL ITEMS ON DRAWINGS ARE INDICATED AS AN ALTERNATE. SCOPE OF THESE ITEMS IS EXPLAINED IN SECTION 012300- ALTERNATES.
- REQUIRED PRE-INSTALLATION MEETINGS AND MOCKUPS FOR CRITICAL WORK SHALL BE PERFORMED PRIOR TO COMMENCEMENT OF WORK. COORDINATE ADDITIONAL MEETINGS AND MOCKUPS WITH ARCHITECT AS NECESSARY AT NO ADDITIONAL COST TO OWNER.
- WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS OF VARIOUS TRADES, PROMPTLY REPORT DISCREPANCIES TO ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- WHERE PROVISIONS OF DRAWINGS AND SPECIFICATIONS CONFLICT, THE MORE STRINGENT OR COSTLY REQUIREMENT SHALL GOVERN UNLESS DIRECTED OTHERWISE BY ARCHITECT.
- VERIFY FIELD CONDITIONS, MATERIALS, CONSTRUCTION METHODS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. PROMPTLY CONTACT ARCHITECT IN WRITING IF ISSUES OR QUESTIONS ARISE. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS, AS WELL AS TAKING ON RESPONSIBILITY FOR UNACCEPTABLE WORK CAUSED BY PREVIOUS CONDITIONS.
- MATERIALS ORDERED, FABRICATED, OR INSTALLED PRIOR TO ARCHITECT'S REVIEW AND APPROVAL OF REQUIRED SUBMITTALS, AND ASSOCIATED SUBMITTALS PERTAINING TO WORK, IS AT CONTRACTOR'S OWN RISK. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR DELAYS OR ADDED COSTS INCURRED BY CONTRACTOR AS A RESULT OF WORK INSTALLED OR COMPLETED WITHOUT PROPER SUBMITTAL REVIEW AND APPROVAL.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, NATIONAL CODES AND ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
- GENERAL CODE AND LIFE SAFETY INFORMATION IS INDICATED ON SHEET G-001 AND G-102. INFORMATION PROVIDED IS NOT COMPREHENSIVE.
- DO NOT SCALE DRAWINGS. READ DIMENSIONS ONLY. IF A REQUIRED DIMENSION IS NOT INDICATED OR DIMENSIONING DISCREPANCIES EXIST, PROMPTLY WRITE ARCHITECT FOR RESOLUTION.
- DO NOT CUT STRUCTURAL ELEMENTS OR MEMBERS IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD DEFLECTION RATIO.
- STRUCTURAL ITEMS, INCLUDING BUT NOT LIMITED TO, BEAMS, LINTELS, JOISTS, DECKS, MASONRY TIES, BOND BEAMS, COLUMNS, CONNECTIONS AND CONNECTORS, ETC., APPEARING ON ARCHITECTURAL DRAWINGS ARE ONLY SHOWN TO ILLUSTRATE RELATIONSHIPS TO OTHER BUILDING MATERIALS AND SYSTEMS AND SHALL BE CONSIDERED FOR INFORMATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR DETAILED CONFIGURATIONS, TYPES, SIZES, CONNECTIONS, NOTES, AND SCHEDULES.
- COLD FORMED METAL FRAMING APPEARING ON ARCHITECTURAL DRAWINGS ARE SHOWN TO ILLUSTRATE INTENT. CONTRACTOR, AS PART OF DELEGATED DESIGN SUBMITTAL RESPONSIBILITY, IS TO PROVIDE CONNECTIONS AND CONFIGURATIONS REQUIRED.
- PLUMBING, HVAC, ELECTRICAL, AND FIRE PROTECTION ITEMS APPEARING ON ARCHITECTURAL DRAWINGS ARE ONLY SHOWN TO ILLUSTRATE RELATIONSHIPS TO OTHER BUILDING MATERIALS AND SYSTEMS AND SHALL BE CONSIDERED FOR INFORMATION ONLY. REFER TO EACH DISCIPLINES DRAWINGS FOR DETAILED CONFIGURATIONS, TYPES, SIZES, CONNECTIONS, NOTES, AND SCHEDULES.
- ALL PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION ROUGH-IN WORK IN FINISHED AREAS SHALL BE CONCEALED IN AVAILABLE CEILING, WALL AND FLOOR SPACES.
- PENETRATIONS THROUGH SLAB ON GRADE, ROOF DECK, AND EXTERIOR WALLS, SHALL BE WATER SEALED. WHERE PENETRATIONS ARE REQUIRED TO BE FIRE SEALED, THE WATER SEAL SHALL BE IN ADDITION. INSTALL FIRE SEALANT FIRST (DEPRESSED A MINIMUM OF 3/4 INCH) AND INSTALL WATER SEAL OVER THE TOP. INSTALL APPROPRIATE BOND BREAKER BETWEEN THE TWO TYPES OF SEALANT.
- PROVIDE FIBER FRAME BLOCKING, AS REQUIRED, IN WALLS AND CEILINGS TO ANCHOR WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, MILLWORK, CASEWORK, WALL CABINETS, HANDRAILS, COAT RACKS, WALL HOOKS, DOOR STOPS, TOILET ACCESSORIES, OWNER-FURNISHED EQUIPMENT, SHELIVING, LIGHT FIXTURES, LIFE SAFETY EQUIPMENT AND OTHER SIMILAR ITEMS.
- WOOD BLOCKING AND METAL FRAMING IS SHOWN GENERICALLY IN DETAILS TO ACHIEVE DESIRED OVERALL CONFIGURATION.
- PROVIDE CONTROL JOINTS IN MASONRY WALLS AS SHOWN. IN AREAS WHERE JOINTS ARE NOT SHOWN, PROVIDE JOINTS AT A MINIMUM OF EVERY 20 FEET IN RUNNING WALLS AND 6 FEET FROM CORNERS. WINGS OF AN "L, U, OR T" ON A WALL SURFACE SHALL BE SEPERATED WITH A CONTROL JOINT. REVIEW LOCATIONS WITH ARCHITECT IN THE FIELD PRIOR TO COMMENCING MASONRY INSTALLATION.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AS SHOWN. IN AREAS WHERE JOINTS ARE NOT SHOWN, PROVIDE JOINTS PER GYPSUM HANDBOOK OR AT A MINIMUM OF EVERY 30 FEET IN WALLS OR CEILINGS. WINGS OF AN "L, U, OR T" ON A WALL OR CEILING SURFACE SHALL BE SEPARATED WITH A CONTROL JOINT. REVIEW LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO COMMENCING CONTROL JOINT INSTALLATION.
- CONTROL JOINTS IN RATED ASSEMBLIES SHALL NOT COMPROMISE RATED ASSEMBLY. PROVIDE APPROPRIATE BACKING MATERIAL AND FIRESTOPPING TO CLOSE CAVITY AND PROVIDE APPROPRIATE SEALANT.
- UNLESS DETAILED OTHERWISE, WHERE GYPSUM WALLBOARD MEETS DISSIMILAR SURFACE, INCLUDING BUT NOT LIMITED TO MASONRY, WOOD, OR METAL, SHALL HAVE WALLBOARD EDGE FINISHED WITH METAL EDGE AND DRYWALL COMPOUND, AND THE JOINT SEALED.
- WHERE MASONRY REQUIRES CUTTING TO ENCLOSE A STRUCTURAL MEMBER, PROVIDE MAXIMUM THICKNESS POSSIBLE AND PREVENT CONTACT WITH STRUCTURE, EXCEPT FOR WALL TIES. USE SAME UNITS AS IN WALL TO KEEP APPEARANCE UNIFORM.
- COORDINATE WORK WITH ELECTRICAL AND FIREPROTECTOR BEING FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR. SHOP DRAWINGS AND OTHER SUBMITTALS SHALL BE CAREFULLY COORDINATED ACCORDINGLY. PROVIDE FOR SOME ADJUSTMENT IN FINAL DESIGN AND FABRICATION TO ACCOMMODATE INSTALLATION OF OWNER EQUIPMENT.
- MAINTAIN INGRESS AND EGRESS TO THE PROJECT SITE AND BUILDING.

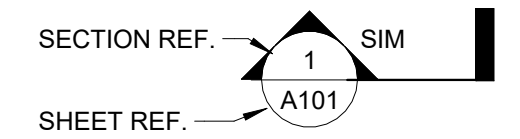
GENERAL NOTES

DETAILING SYMBOLS

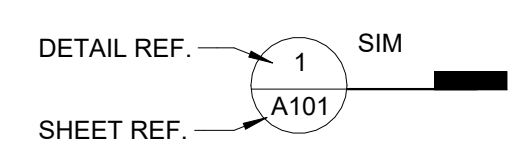
STANDARD ABBREVIATIONS



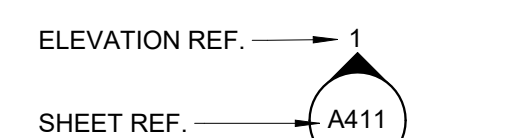
CALLOUT



BUILDING/WALL SECTION



DETAIL SECTION



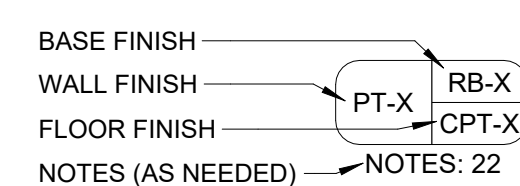
INTERIOR ELEVATION



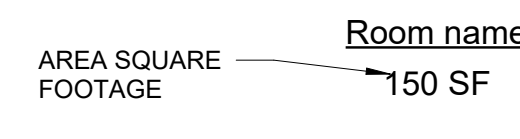
EXTERIOR ELEVATION



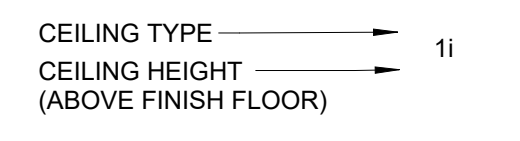
ROOM TAG



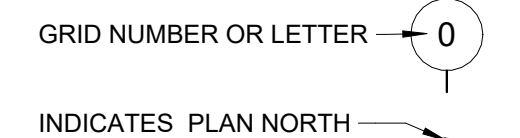
ROOM FINISH TAG



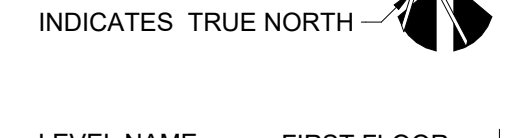
AREA TAG



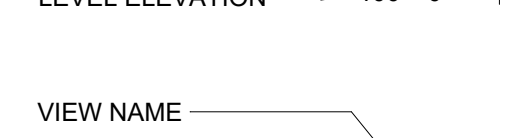
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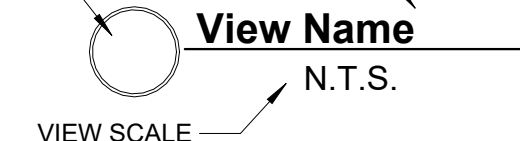
GRID LINE



NORTH INDICATOR



LEVEL LINE



VIEW TITLE



WALL TAG-EXTERIOR



SPECIALTY EQUIPMENT TAG



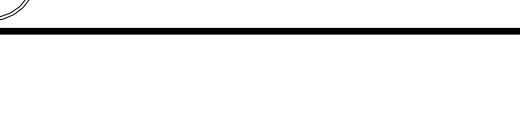
REVISION TAG



SPOT ELEVATION SYMBOL



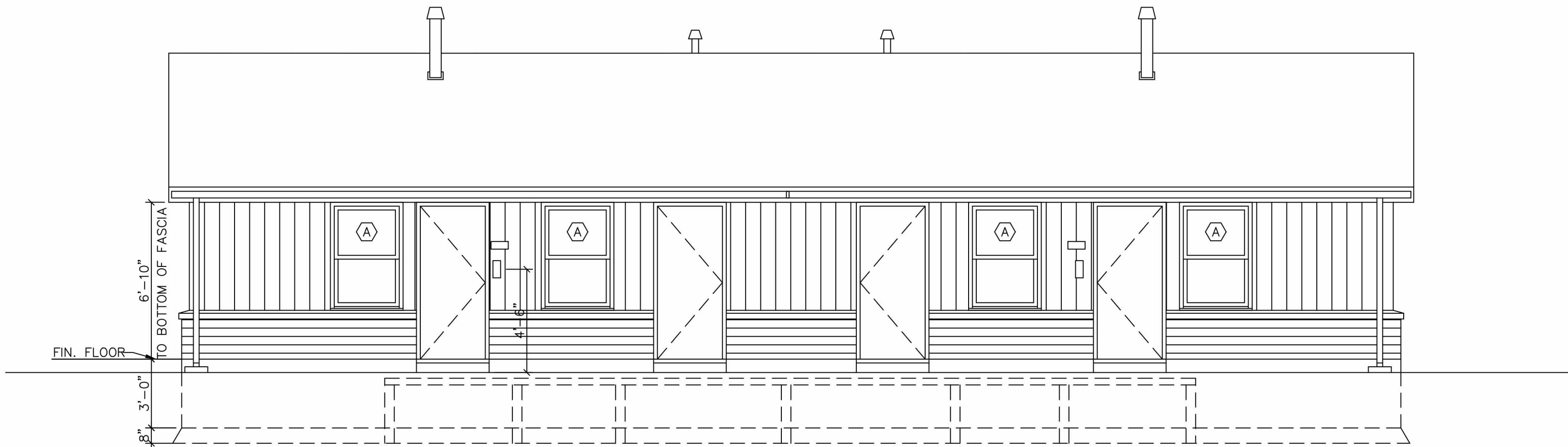
DOOR TAG



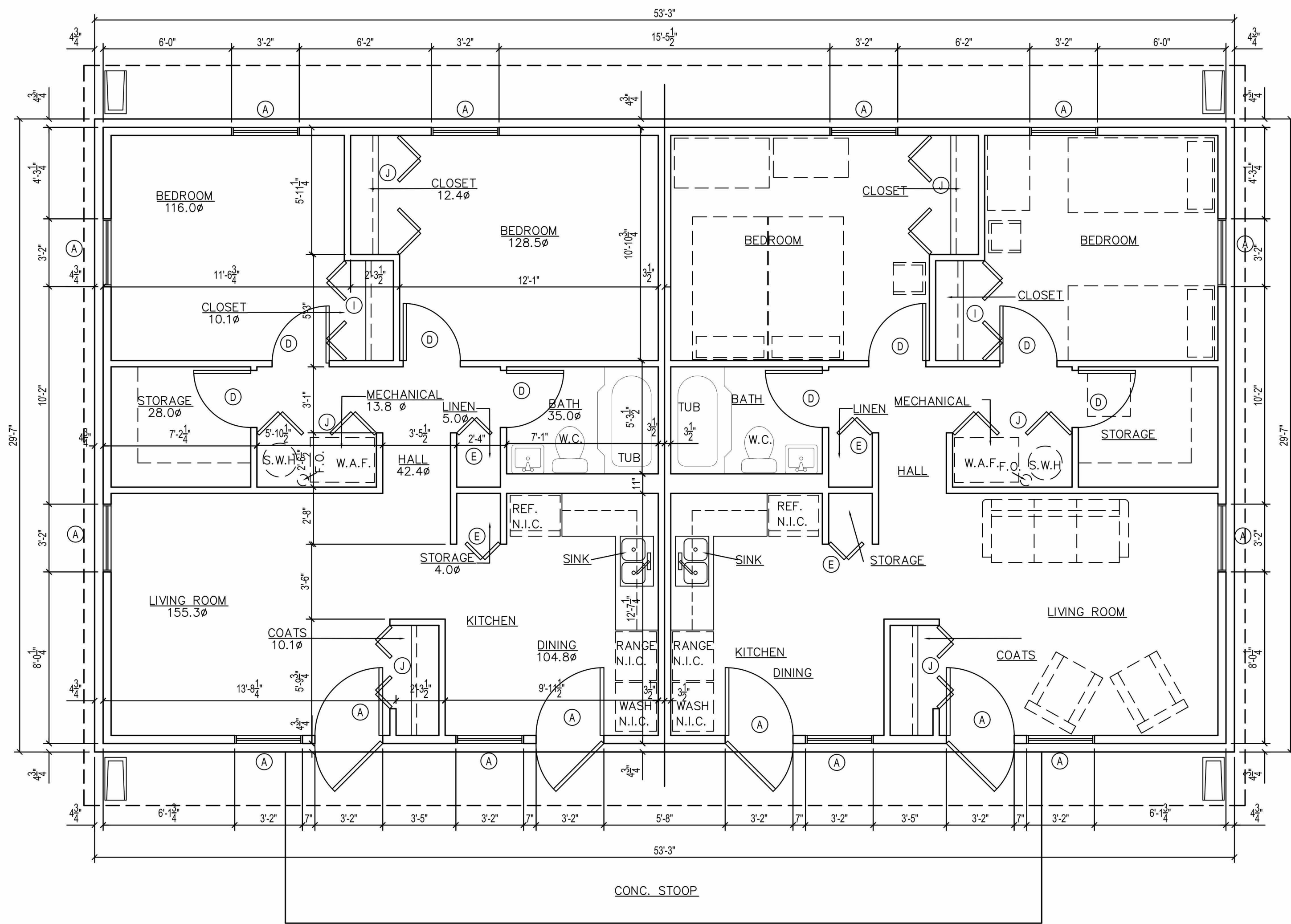
WINDOW TAG

WALL TAG-INTERIOR

@ A B ACOUS ACP ADD'N ADD'L ADJ ADJT AFF AHJ AL ALT ANCH ANOD AP APPROX ASPH AUTO AVE	- AT - ANCHOR BOLT - ACOUSTIC - ACOUSTIC CEILING PANEL - ADDITION - ADDITIONAL - ADJACENT - ADJUSTABLE - ABOVE FINISH FLOOR - AUTHORITY HAVING JURISDICTION - ALUMINUM - ALTERNATE - ANCHOR - ANODIZED - ACCESS PANEL - APPROXIMATE - ASPHALT - AUTOMATIC - AVERAGE	JT - JOINT	- KNOCK DOWN - KNOCK OUT (PANEL)
BD BITUM BLDG BLKGG BRG BRK BRK PV BRKT BSMT BT STL PL BTM BTWN BUR	- BOARD - BITUMINOUS / BITUMASTIC - BUILDING - BLOCKING (WOOD) - BEARING - BRICK - BRICK PAVERS - BRACKET - BSMT - BENT STEEL PLATE - BOTTOM - BETWEEN - BUILT UP ROOF(ING)	L LAM LAV LGT LH LL LLH LLV LVL LVR	- LONG - LAMINATE(D) - LAVATORY - LIGHT - LEFT HAND - LIVE LOAD - LONG LEG HORIZONTAL - LONG LEG VERTICAL - LEVEL - LOUVER
CAB CG CIPC CJ CLG CLR CMT CMU CO COL COMB COMP COMPTD CONC COND CONT CONTR CORR CPT CR CRS CT CTR CTS CUH CUV	- CABINET - CORNER GUARD - CAST-IN-PLACE CONCRETE - CONSTRUCTION/ CONTRACTION JOINT CEILING - CLEAR - CERAMIC MOSAIC TILE - CONCRETE MASONRY UNIT - CLEAN OUT - COLUMN - COMBINATION - COMPRESSIBLE - COMPACTED - CONCRETE - CONDITION - CONTINUOUS - CONTRACTOR - CORRUGATED - CARPET - COLD ROLLED - COURSE(ING) - CERAMIC TILE - COUNTER - CENTER(S) - CABINET UNIT HEATER - CABINET UNIT VENTILATOR	MAS'Y MAT'L MAX MB MECH MED MEZZ MFR MH MIN MISC MO MOD MR MSB MT(D) MTL	- MASONRY - MATERIAL - MAXIMUM - MACHINE BOLT - MECHANICAL - MEDIUM - MEZZANINE - MANUFACTURER - MAN HOLE - MINIMUM - MISCELLANEOUS - MASONRY OPENING - MODULAR - MOISTURE RESISTANT - MOP SERVICE BASIN (SINK) - MOUNT(ED) - METAL
D DF DIA DIM DN DNSP DR DS DTL DWG'S	- DEEP - DRINKING FOUNTAIN - DIAMETER - DIMENSION - DOWN - DOWNSPOUT - DOOR - DIVIDER SCREEN - DETAIL - DRAWINGS	OA OC OD OF OH OPNG OPP OPP HD OVHD	- OVERALL - ON CENTER - OUTSIDE DIAMETER - OUTSIDE FACE - OVER HEAD - OPENING - OPPOSITE - OPPOSITE HAND - OVERHEAD
EA EJ EL ELEC ELEV EMBED EMER EPM	- EACH - EXPANSION JOINT - ELIATION - ELECTRIC / ELECTRICAL - ELEVATOR - EMBEDMENT - EMERGENCY - ETHYLENE PROPYLENE DIENE MONOMER	PAVT PC PCC PERI PERM PI PLAM PLB'G PLYWD PSF PSI PT PTN PVC	- PAVEMENT - PIECE - PRECAST CONCRETE - PERIMETER - PERMANENT - PLATE - PLASTIC LAMINATE - PLUMBING - PLYWOOD - POUNDS PER SQUARE FOOT - POUNDS PER SQUARE INCH - PAINT - PARTITION - POLYVINYL CHLORIDE
EQ ES EW EWC EWH EXIST EXP EXT	- EQUAL - EDGE STRIP - EACH WAY - ELECTRIC WATER COOLER - ELECTRIC WATER HEATER - EXISTING - EXPANSION - EXTERIOR	QT R R OR RAD REF REFR REQD RF RFM RFG RH RM RO RTF	- QUARRY TILE - RISER - RADIUS - ROOF DRAIN - REFERRE - REINFORCING - REQUIRED - RUBBER FLOORING - REMOVABLE FLOOR MAT - ROOFING - RIGHT HAND - ROOM - ROUGH OPENING - RUBBER TILE FLOORING
FD FDN FE FEC FFD FHC FIN FLR FLSH'G FRP FTG FUR CHNL FURN	- FLOOR DRAIN - FOUNDATION - FIRE EXTINGUISHER - FIRE EXTINGUISHER CABINET - FLUSHING FLOOR DRAIN - FIRE HOSE CABINET - FINISH - FLOOR - FLASHING - FIBER REINFORCED PLASTIC - FOOTING - FURRING CHANNEL - FURNACE	SCHED SCHED/HDNR SEC SF SHT SH SIM SK SLNT SOG SPEC SPCG SPKR SQ SS SSS STN STD STL STRUCT SUSP SYF SYM SYN	- SCHEDULE - SEALER/HARDENER - SECTION - SQUARE FOOT - SHEET - SQUARE INCH - SIMILAR - SINK - SEALANT - SLAB ON GRADE - SPECIFICATION(S) - SPACING - SPEAKER - SQUARE - STAINLESS STEEL - SERVICE SINK - STAIN - STANDARD - STEEL - STRUCTURAL OR STRUCTURE - SUSPEND(ED) - SHEET VINYL FLOORING - SYMMETRICAL - SYNTHETIC
GA GALV GC GL GL BLK GT GWH GWB	- GAUGE - GALVANIZED - GENERAL CONTRACTOR - GLASS - GLASS BLOCK - GLAZED TILE UNITS - GAS WATER HEATER - GYPSUM WALL BOARD	T T&G T/B T/C T/F T/S TSTL T/W TB TERR TH TOM TS TYP	- TREAD - TONGUE AND GROOVE - TOP OF BEAM - TOP OF CURB - TOP OF FOUNDATION - TOP OF SLAB - TOP OF STEEL - TOP OF WALL - TACK BOARD - TERRAZZO - THICK - TOP OF MASONRY - TOOL RESISTANT - TACK STRIP - TYPICAL
H HB HDNR HD WD HDWRE HGT HM HORIZ HTG HVAC	- HIGH - HOSE BIB - HARDENER - HARD WOOD - HARDWARE - HEIGHT - HOLLOW METAL - HORIZONTAL - HEATING - HEATING/ VENTILATING AIR CONDITIONING	UNO VARN VCT VERT VWC	- UNLESS NOTED OTHERWISE - VARNISH - VINYL COMPOSITION TILE - VERTICAL - VINYL WALL COVERING
ID IF IN INCL INSUL INT INV	- INSIDE DIAMETER - INSIDE FACE - INCH - INCLUDE(D) - INSULATION OR INSULATING - INTERIOR - INVERT	W W/ W/O WD WDM WGT WP WR WWF	- WIDE OR WIDTH - WITH - WITHOUT - WOOD - WINDOW - WEIGHT - WATER PROOF - WATER RESISTANT - WELDED WIRE FABRIC

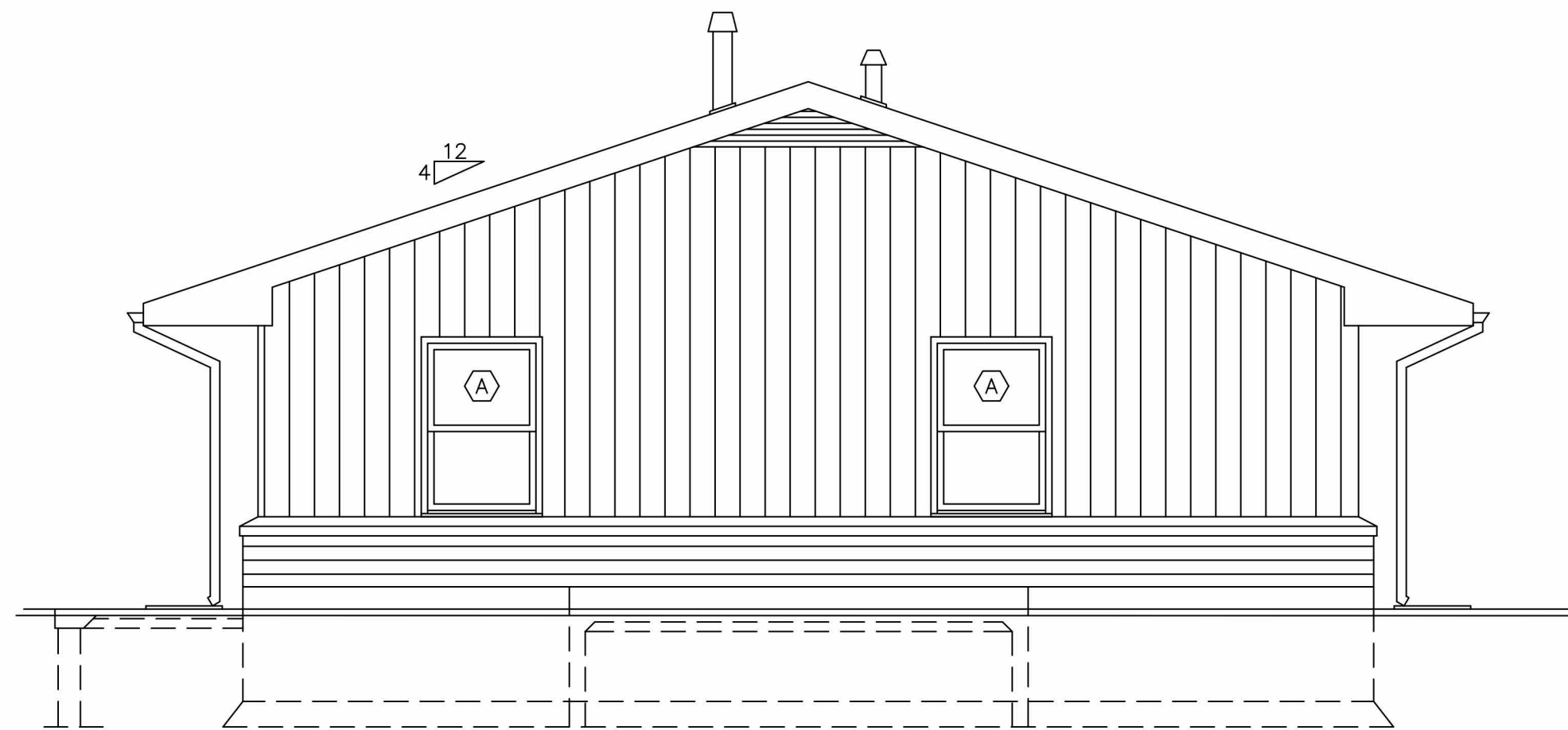


1 Building Type A Front Elevation
SCALE: 1/4" = 1'-0"

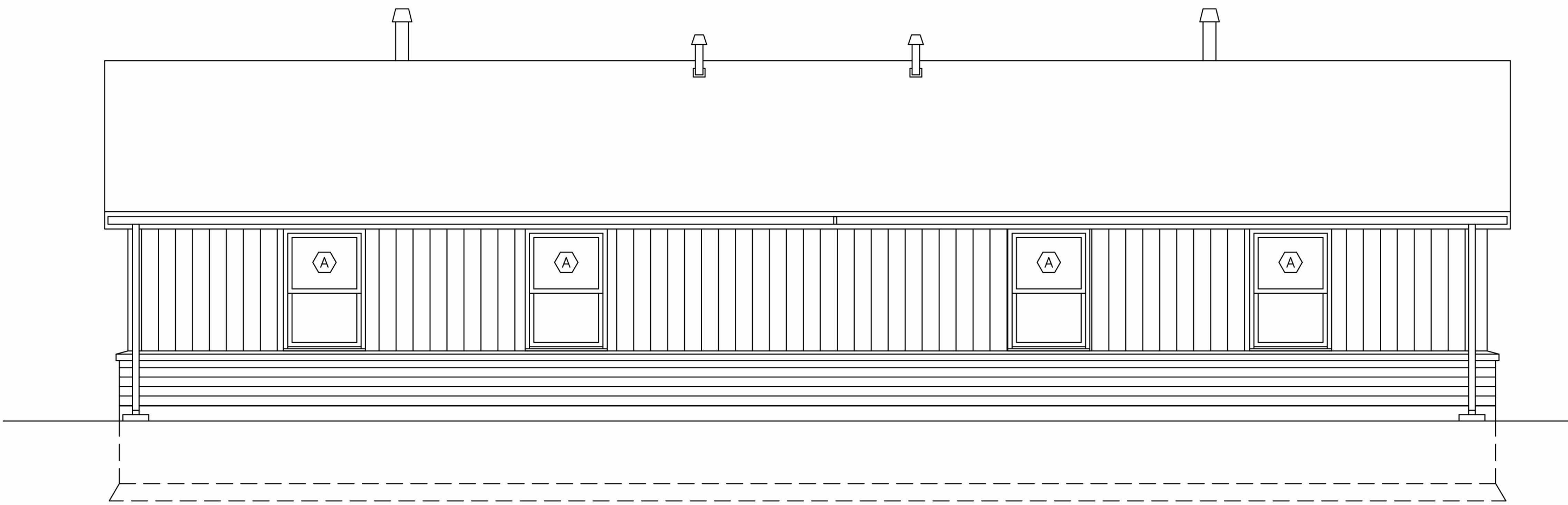


A Building Type A Floor Plan
SCALE: 1/4" = 1'-0"

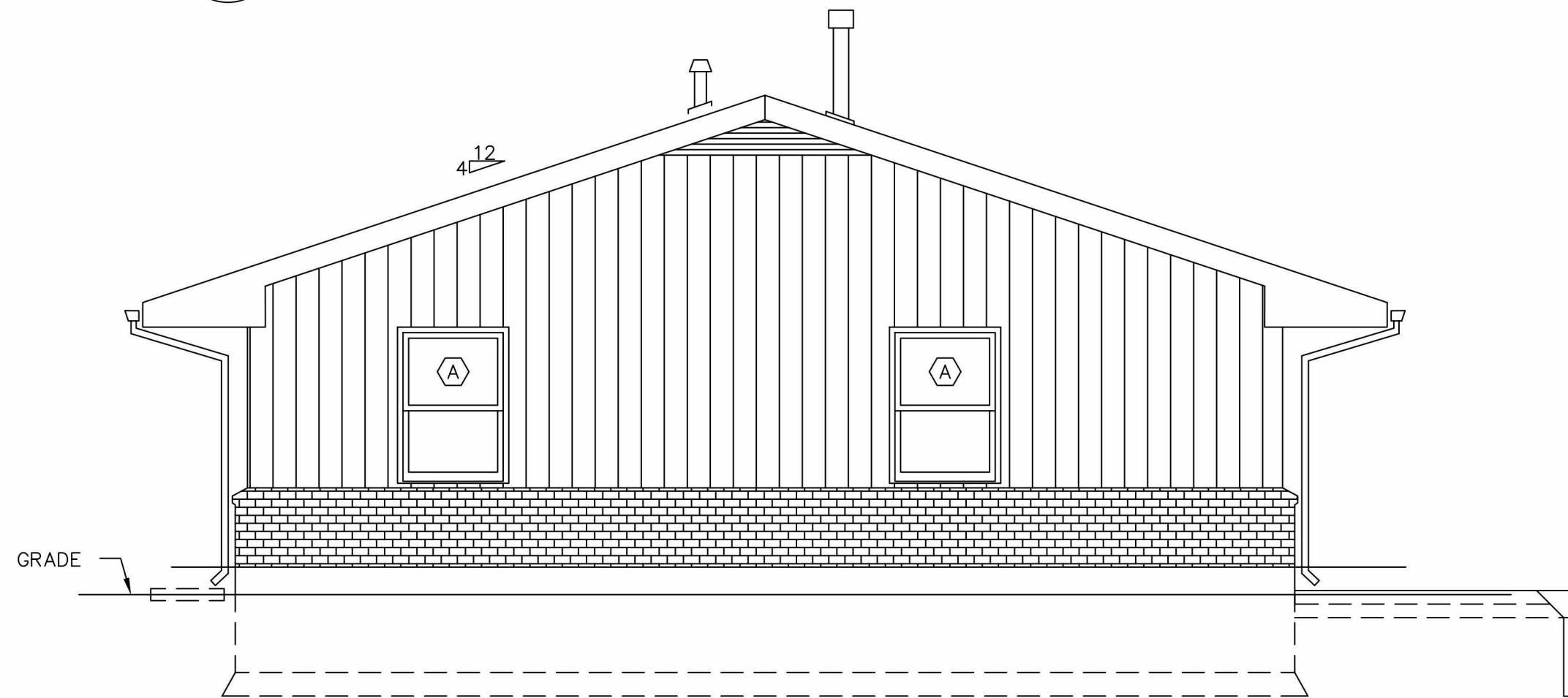
(QUANTITY SIX (6) BUILDINGS)



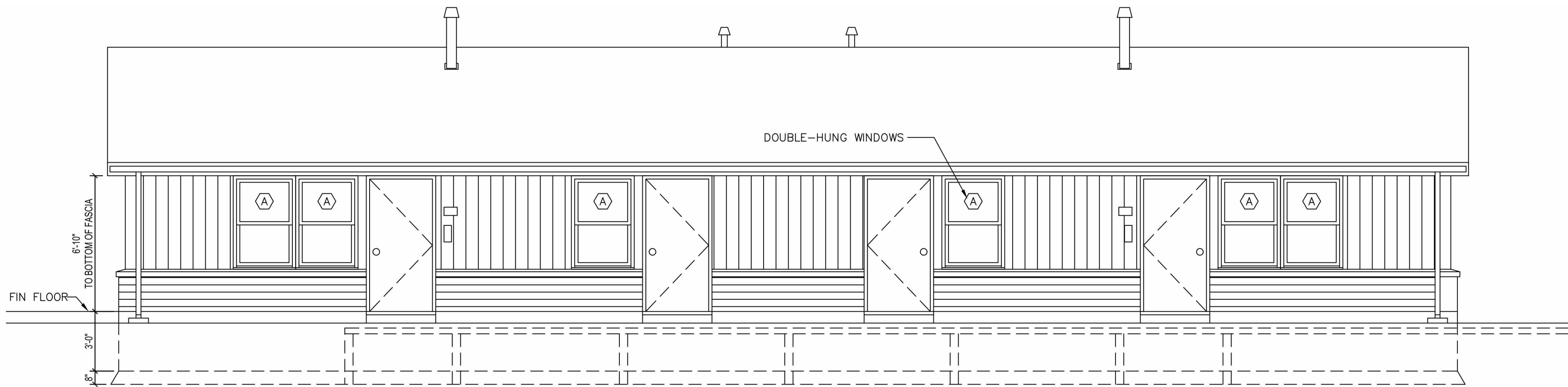
2 Building Type A Side Elevation
SCALE: 1/4" = 1'-0"



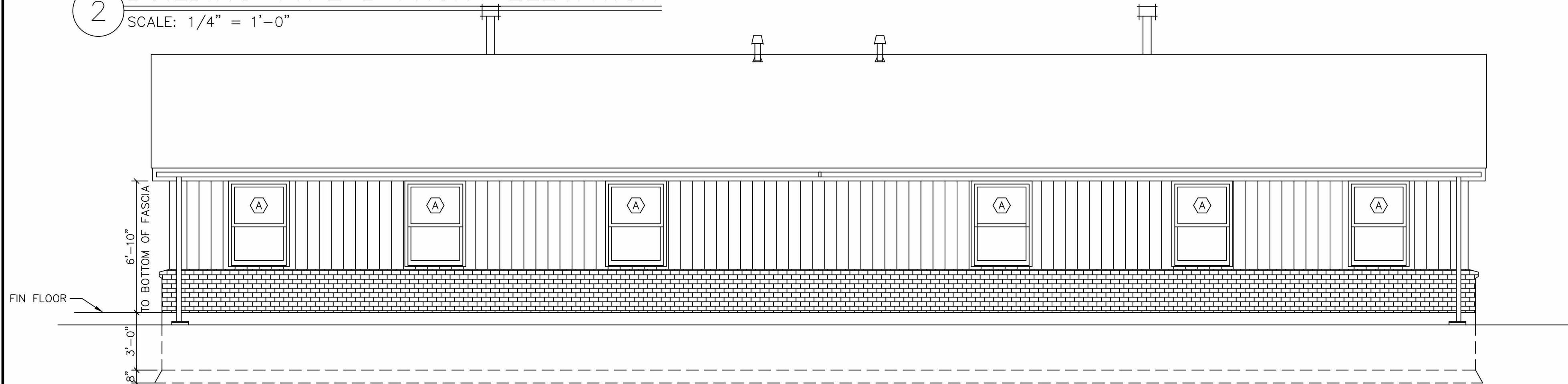
3 Building Type A Rear Elevation
SCALE: 1/4" = 1'-0"



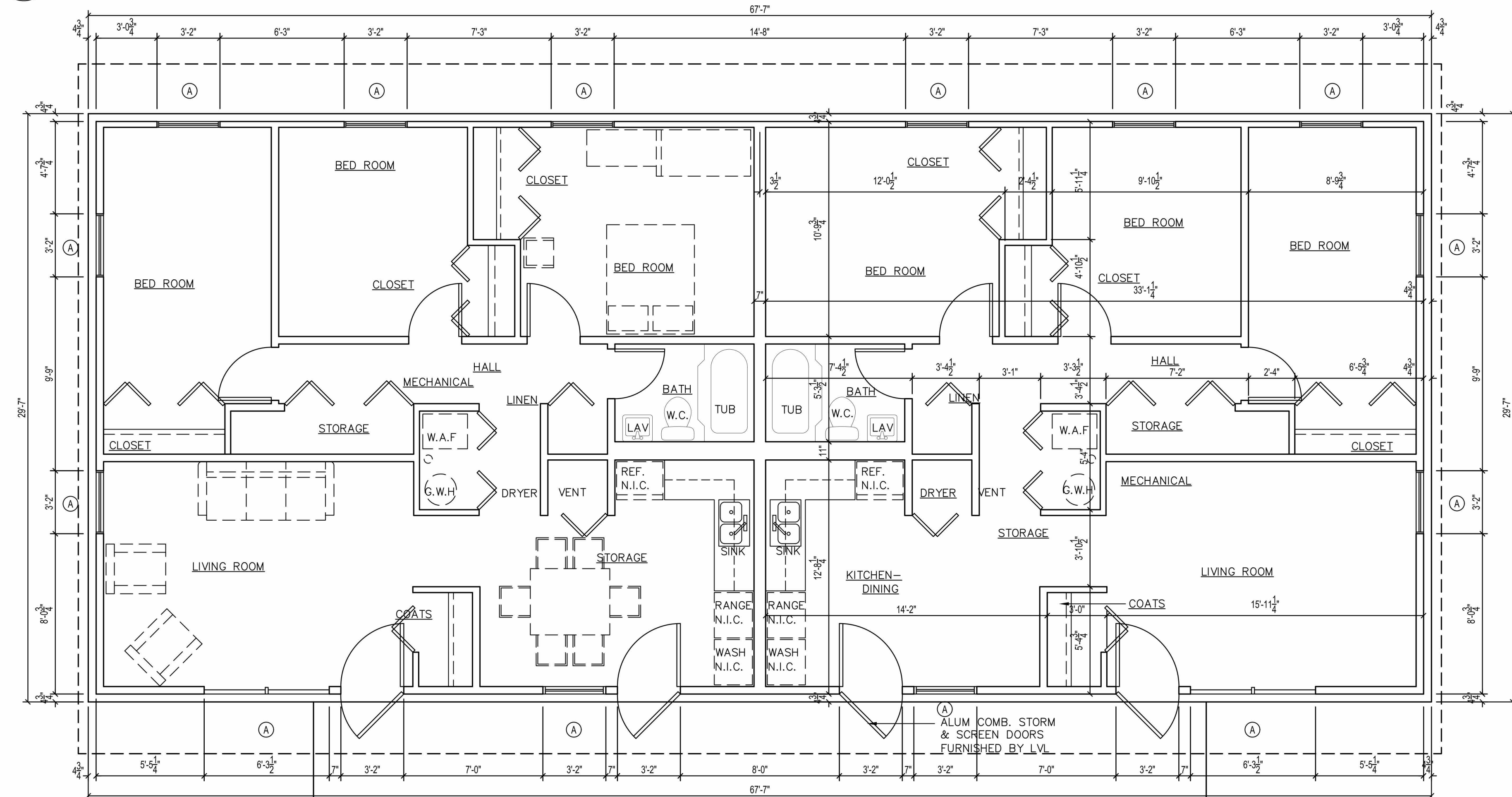
4 Building Type A Side Elevation
SCALE: 1/4" = 1'-0"



2 BUILDING TYPE B FRONT ELEVATION
SCALE: 1/4" = 1'-0"

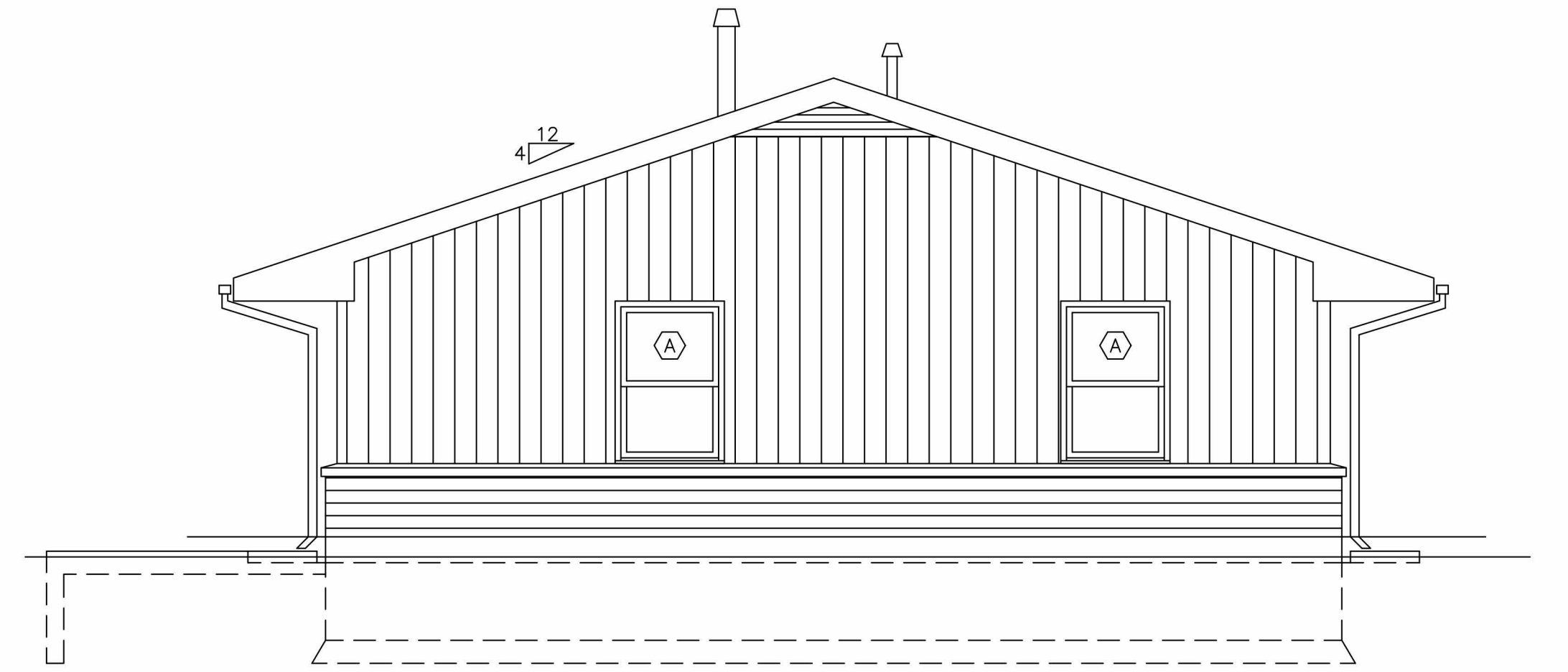


1 BUILDING TYPE B REAR ELEVATION
SCALE: 1/4" = 1'-0"

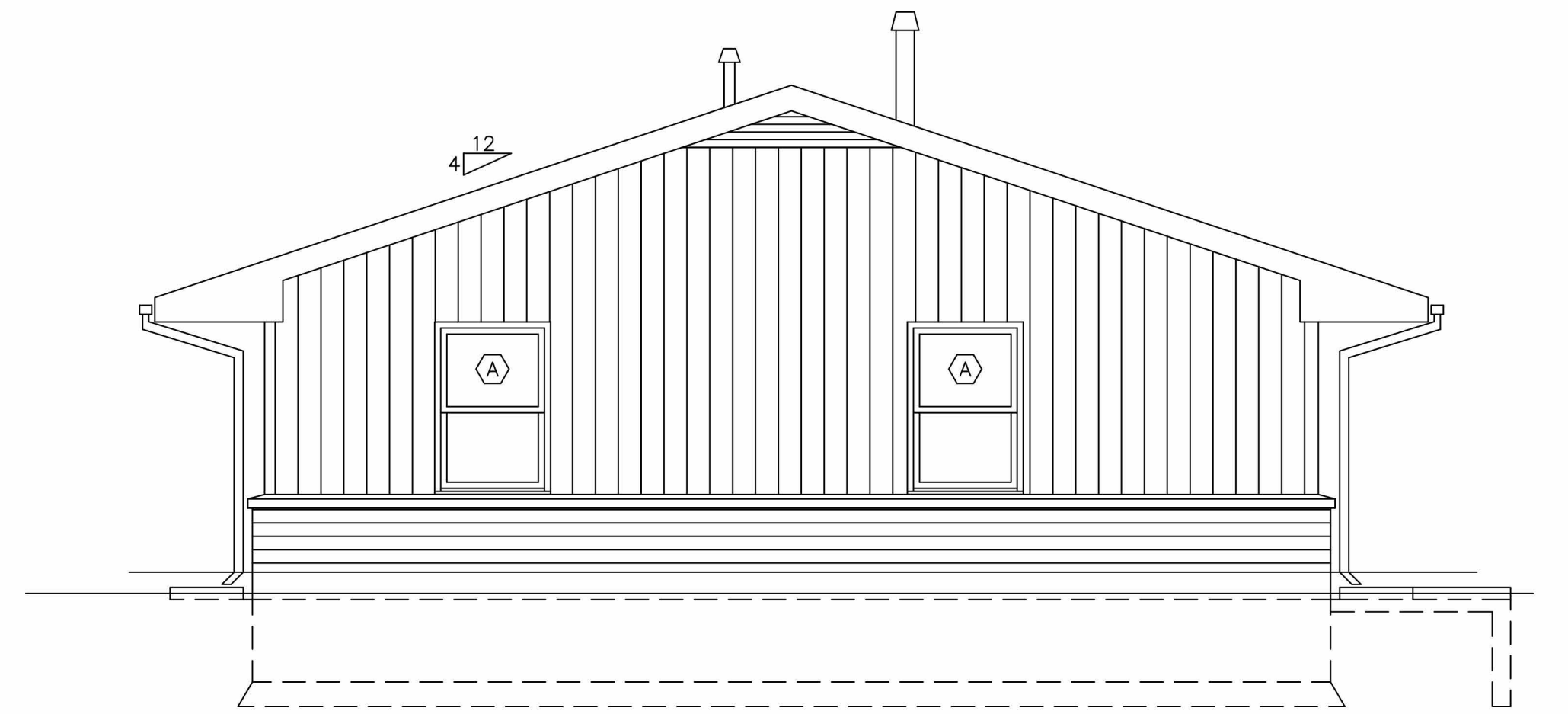


B BUILDING TYPE B FLOOR PLAN
SCALE: 1/4" = 1'-0"

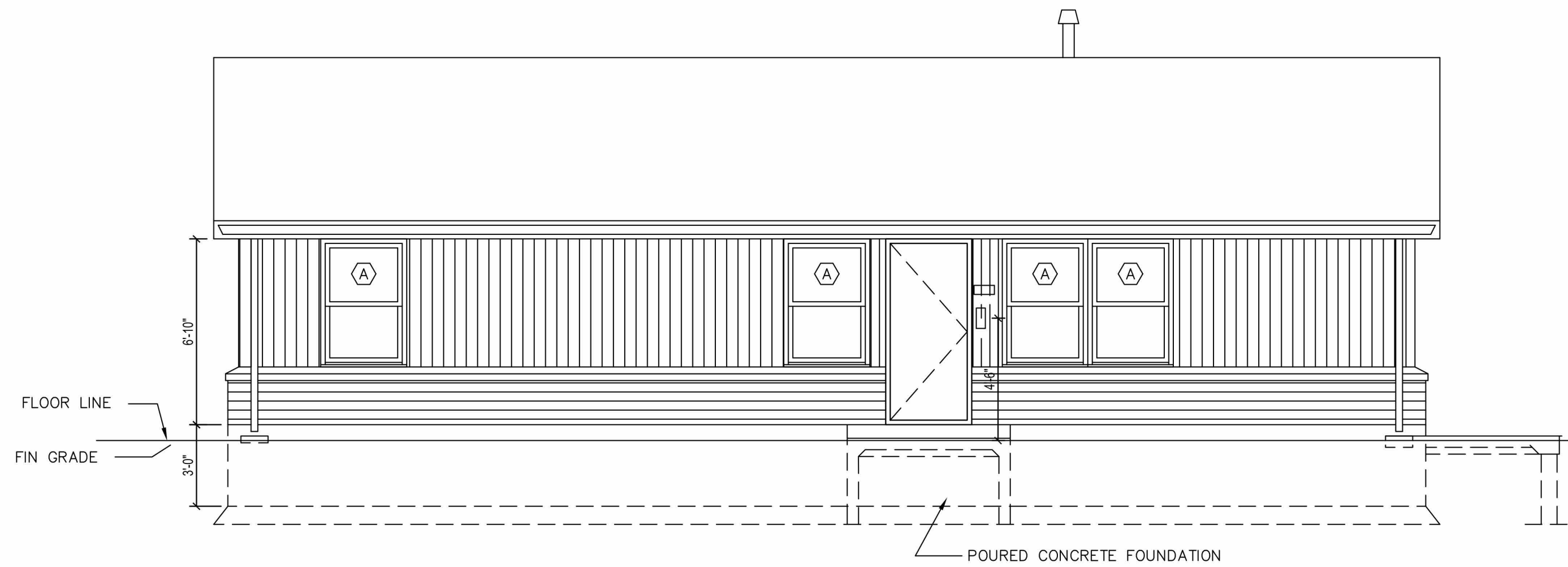
(QUANTITY SEVEN (7) BUILDINGS)



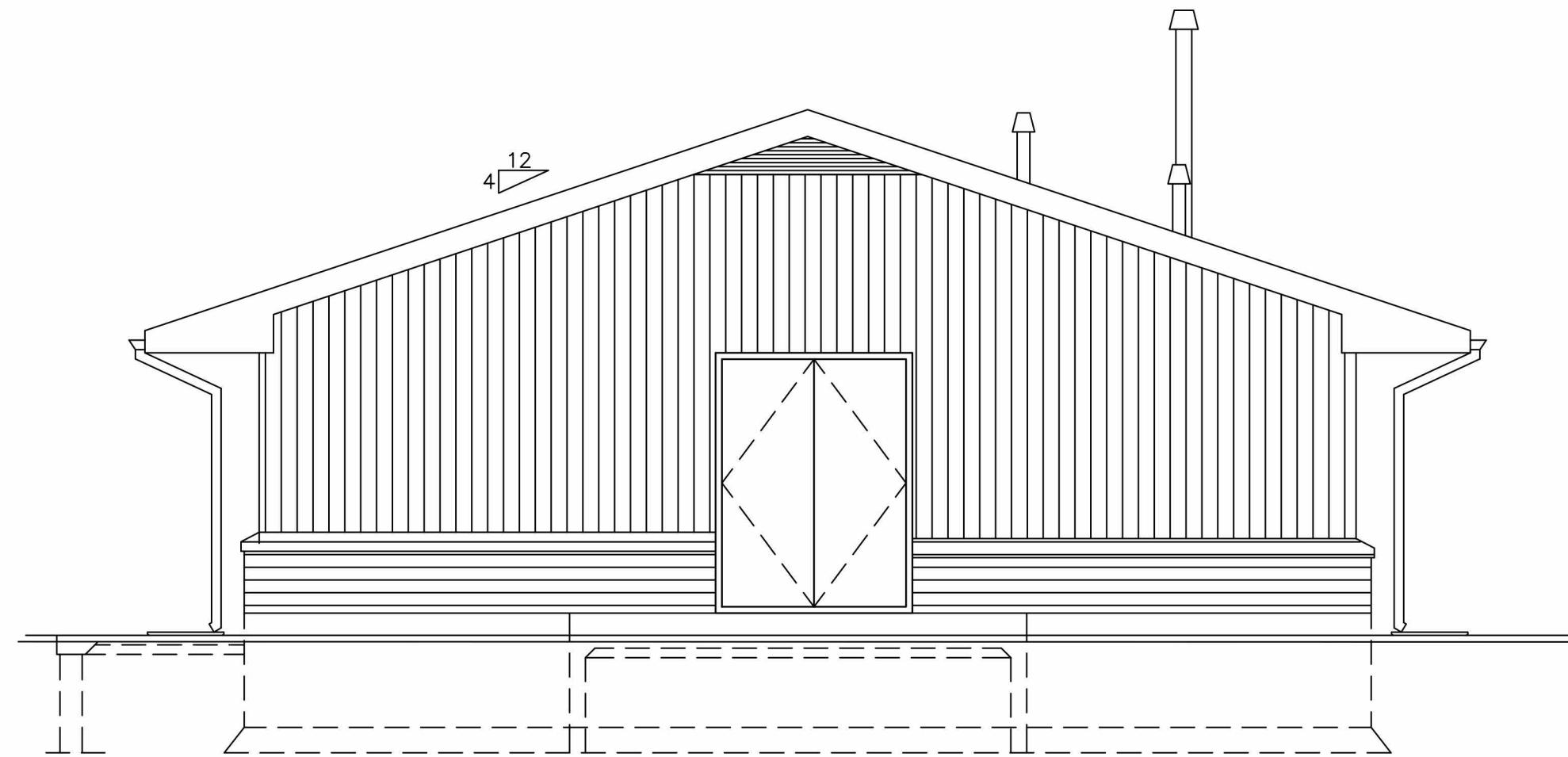
3 BUILDING TYPE B SIDE ELEVATION
SCALE: 1/4" = 1'-0"



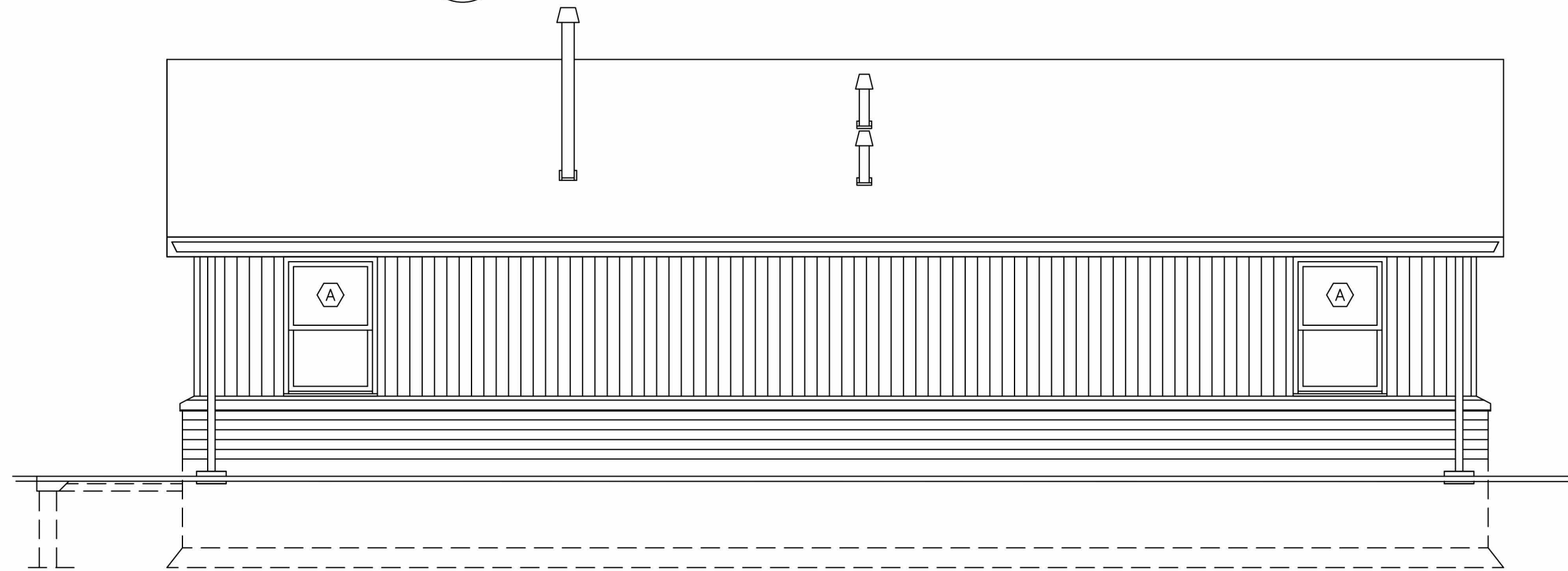
4 BUILDING TYPE B SIDE ELEVATION
SCALE: 1/4" = 1'-0"



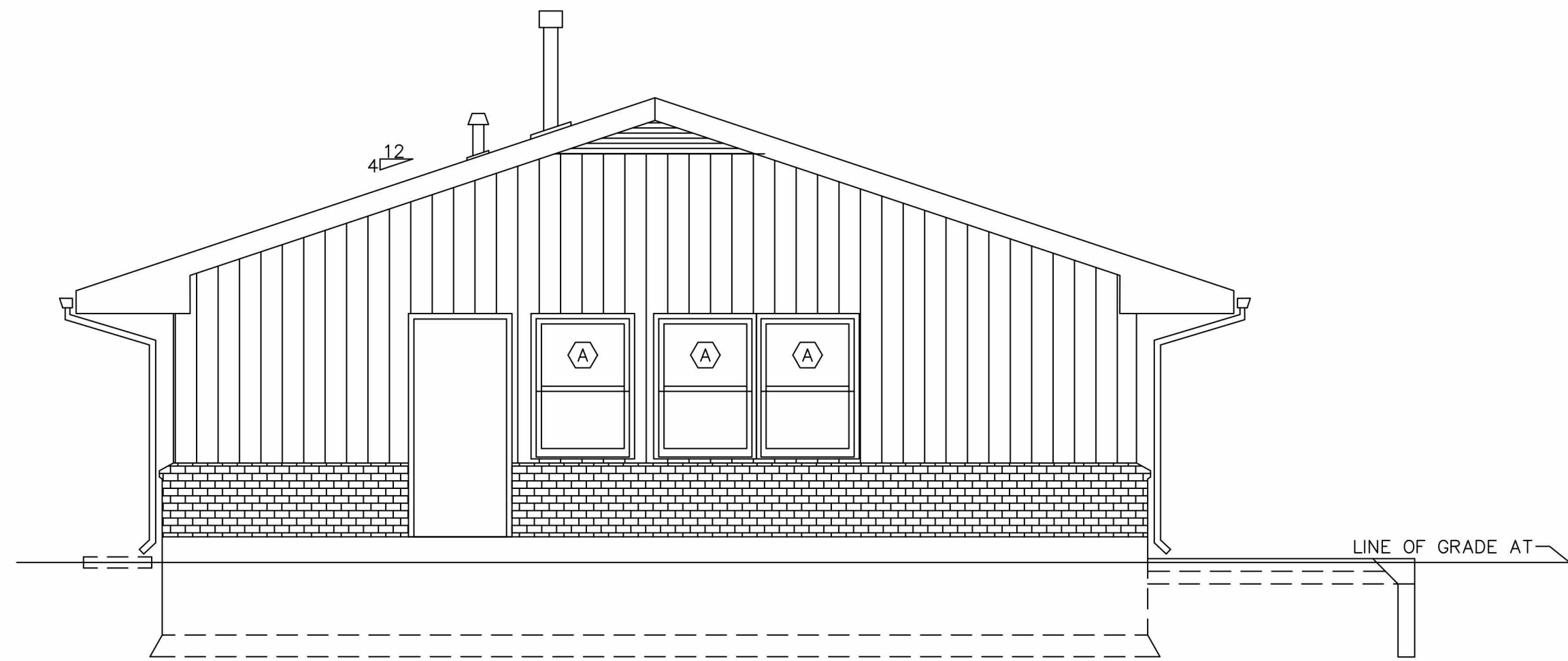
1 BUILDING TYPE C FRONT ELEVATION
SCALE: 1/4" = 1'-0"



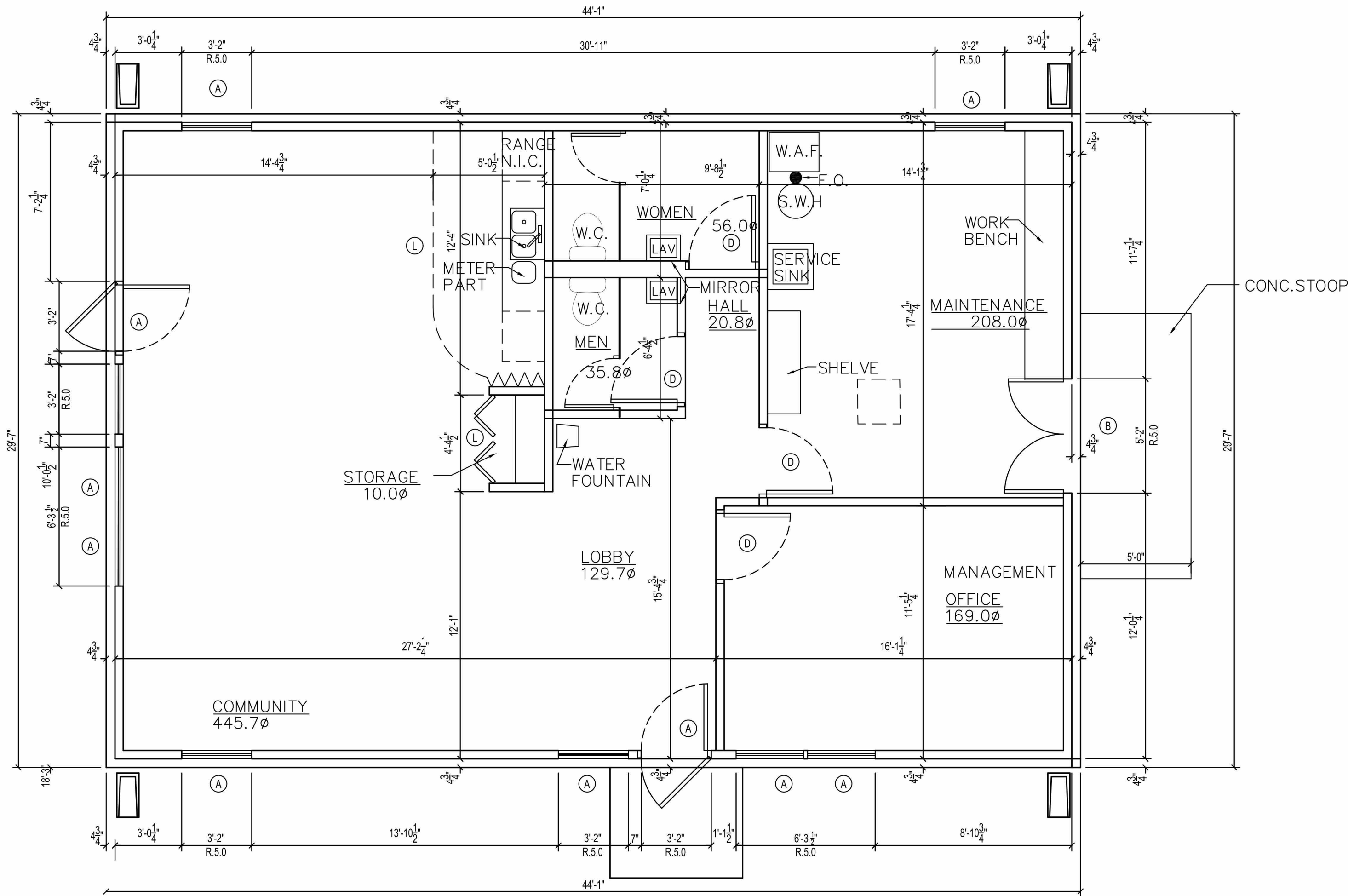
2 BUILDING TYPE C SIDE ELEVATION
SCALE: 1/4" = 1'-0"



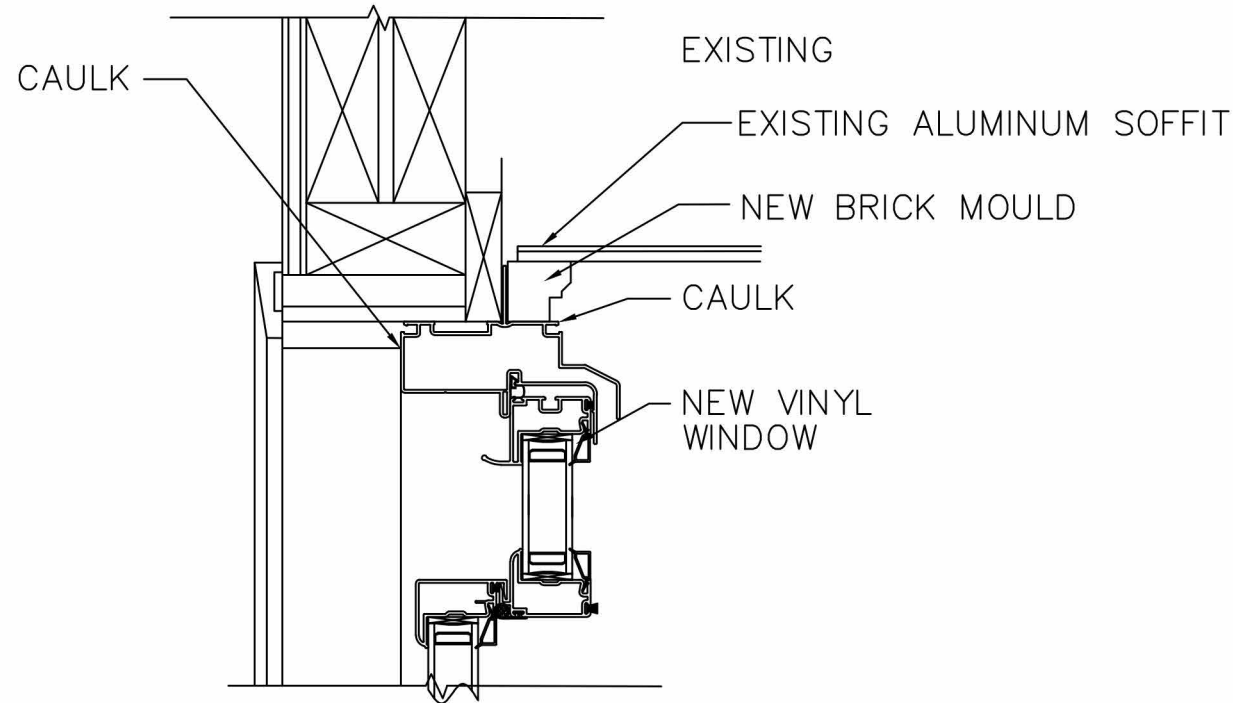
3 BUILDING TYPE C REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 BUILDING TYPE C SIDE ELEVATION
SCALE: 1/4" = 1'-0"

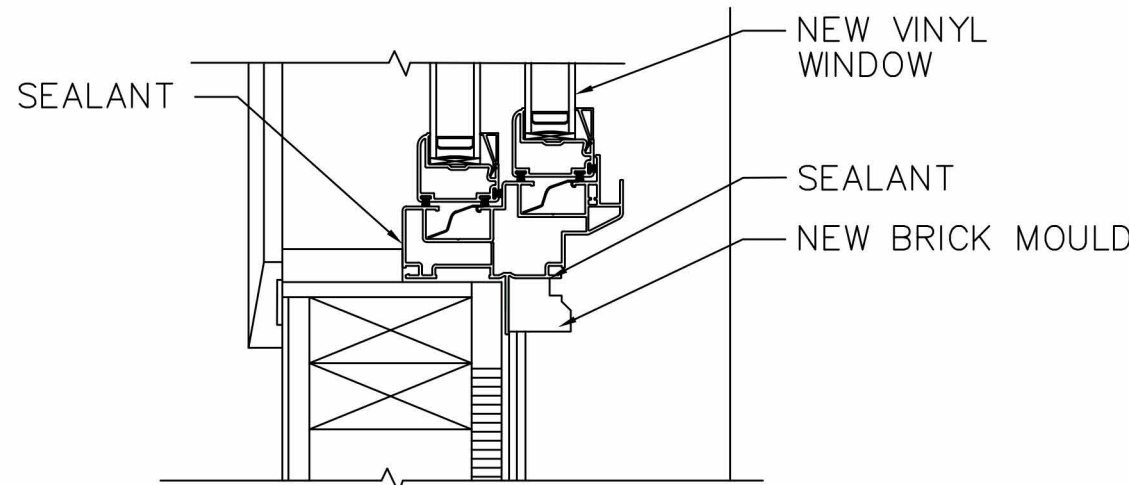


C BUILDING TYPE C FLOOR PLAN
SCALE: 1/4" = 1'-0"



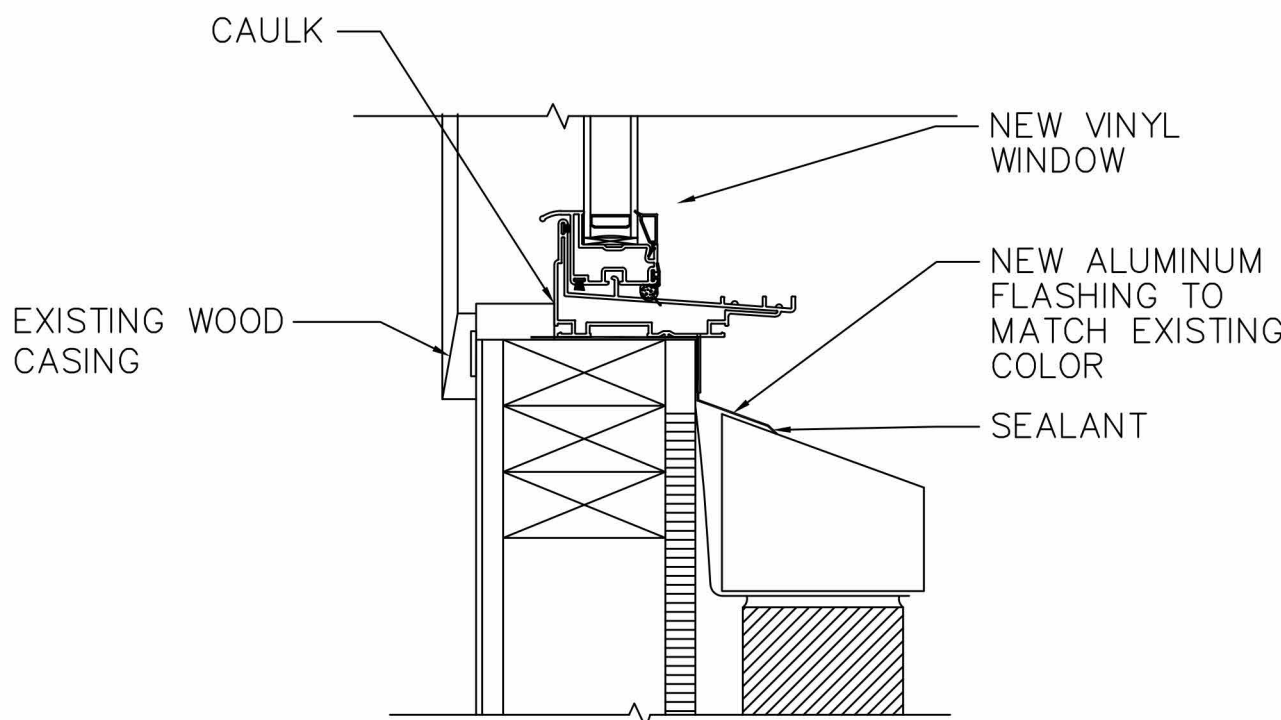
1
A103

HEAD
NOT TO SCALE



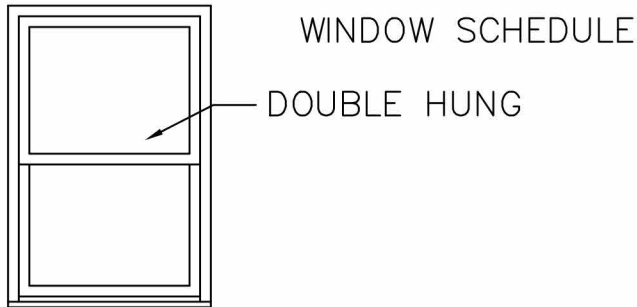
2
A103

JAMB
NOT TO SCALE



3
A103

SILL
NOT TO SCALE



A

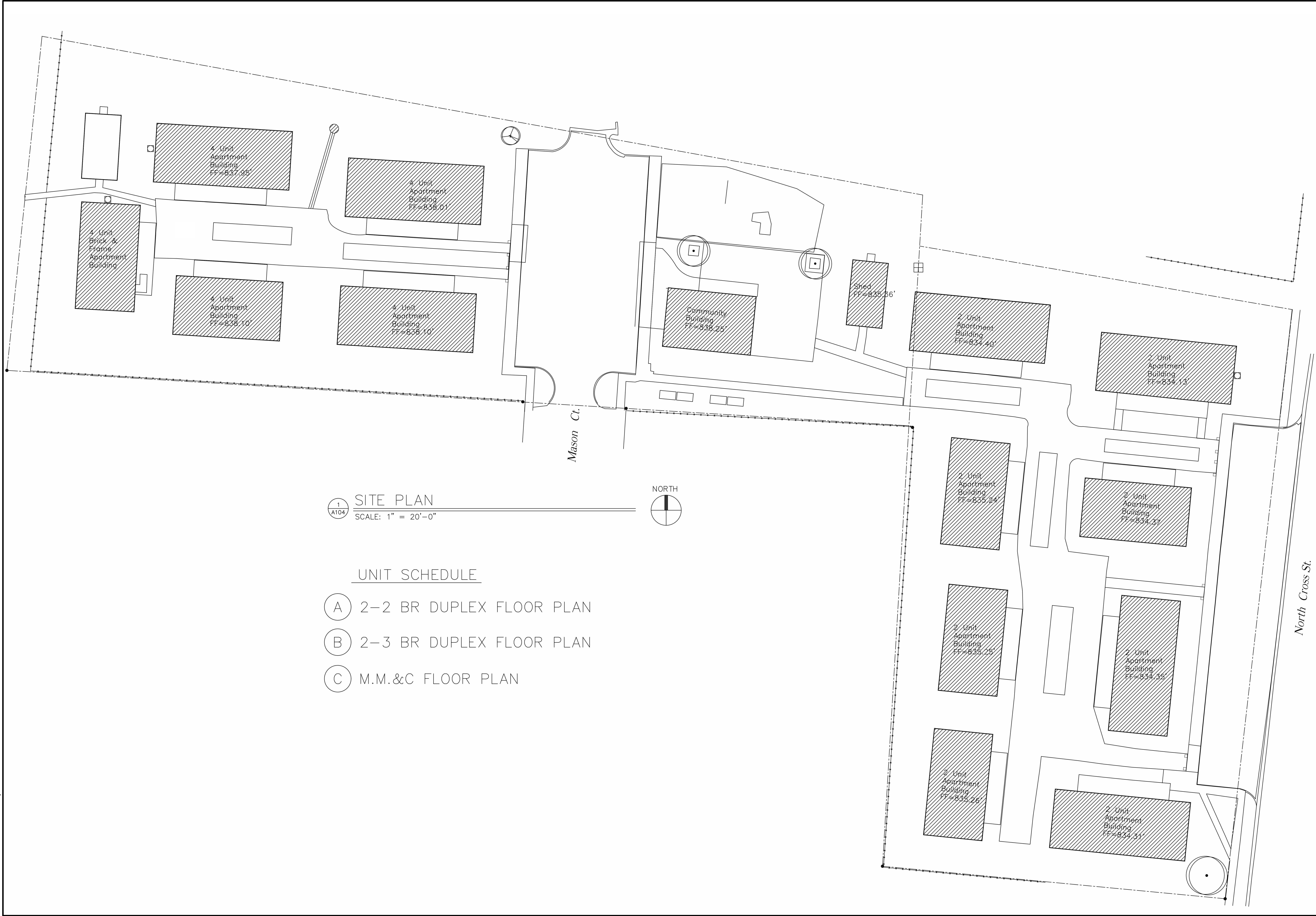
ROUGH STUD OPENING (R.S.O.)
3'-2" W X 4'-5 3/8" H
NOT TO SCALE

MASON COURTS APARTMENTS
275 N. STREET, SYCAMORE, IL 60178

OWNER	ARCHITECT	BONDING CO.

23-16020	01/23/2024	PT	Appd.	RGB
Project Number	Date	Dim.		

WALL SECTION, AND WALL TYPE	REVISION DATE
Sheet No:	A103



1919 Architects 4000 Morsay Drive Rockford, IL 61107 (815) 229-8222 www.1919architects.com	
MASON COURTS APARTMENTS 275 N. STREET, SYCAMORE, IL 60178	
23-16020 Project Number	01/23/2024 Date
PT Appd.	DM Dm.
RGB Appd.	CONTRACTOR BONDING CO.
OWNER	ARCHITECT
REVISION DATE	
Sheet No: A104	