

CIVIC APARTMENTS MASONRY POINTING AND CONCRETE REPAIRS

1919
Architects

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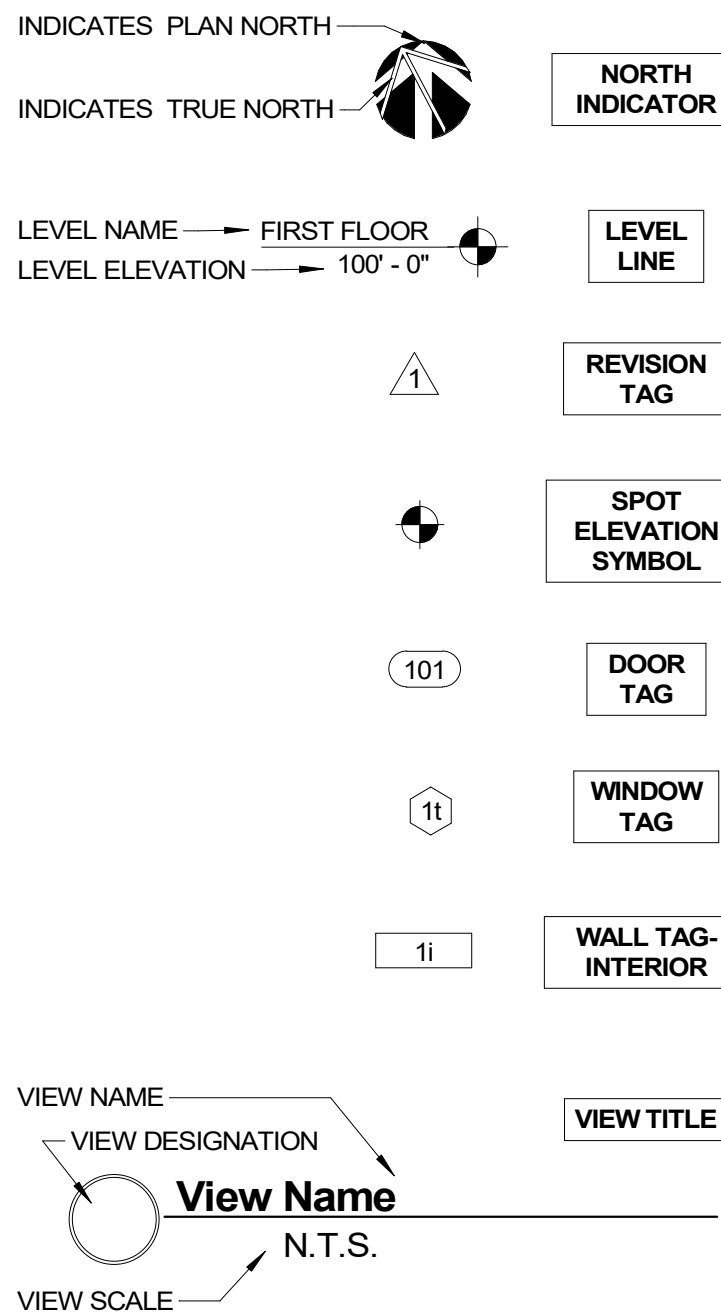
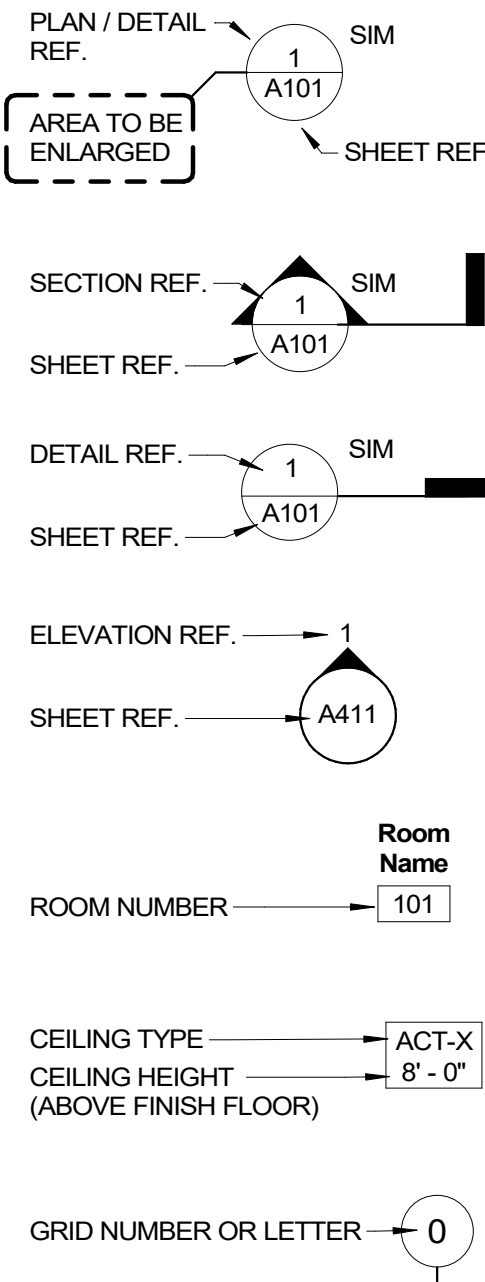
REFERENCE CODES

International Building Code - 2015 Edition + Local Amendments
International Residential Code for One- and Two-Family Dwellings - 2015 Edition + Amendments
International Fire Code - 2015 Edition + Amendments
International Plumbing Code - 2015 Edition + Amendments
International Mechanical Code - 2015 Edition + Amendments
International Fuel Gas Code - 2015 Edition + Amendments
International Swimming Pool and Spa Code - 2015 Edition + Amendments
International Existing Building Code - 2015 Edition + Amendments
International Property Maintenance Code - 2015 Edition + Amendments
National Electrical Code - 2014 Edition + Amendments
Illinois Plumbing Code - Current Edition + Amendments

Illinois Energy Conservation Code - Current Edition
NFPA 101 Life Safety Code - Current Edition, as it applies to state buildings, state licensed facilities, and other occupancies under the purview of the OSFM.
Illinois Accessibility Code - Current Edition
ADA Standards for Accessible Design - 2010 Edition
Illinois Radon Resistant Construction Act - Current Edition
Illinois Elevator Safety Act - Current Edition
Illinois Smoke Detector Act - Current Edition
Illinois Carbon Monoxide Alarm Detector Act - Current Edition
Illinois Urban Manual - Current Edition

@	- AT	JT	- JOINT
A B	- ANCHOR BOLT	L	- LONG
ACOUS	- ACOUSTIC	LAM	- LAMINATE(D)
ACP	- ACOUSTIC CEILING PANEL	LAV	- LAVATORY
ADD/N	- ADDITION	LGT	- LIGHT
ADD'L	- ADDITIONAL	LH	- LEFT HAND
AFF	- ABOVE FINISH FLOOR	LL	- LIVE LOAD
AHJ	- AUTHORITY HAVING JURISDICTION	LLH	- LONG LEG HORIZONTAL
AL	- ALUMINUM	LLV	- LONG LEG VERTICAL
ALT	- ALTERNATE	LVR	- LOUVER
ANCH	- ANCHOR	MAX	- MAXIMUM
ANOD	- ANODIZED	MECH	- MECHANICAL
AP	- ACCESS PANEL	MED	- MEDIUM
APPROX	- APPROXIMATE	MEZZ	- MEZZANINE
AVE	- AVERAGE	MFR	- MANUFACTURER
BD	- BOARD	MH	- MAN HOLE
BLDG	- BUILDING	MIN	- MINIMUM
BRG	- BEARING	MISC	- MISCELLANEOUS
BTM	- BOTTOM	MO	- MASONRY OPENING
BTWN	- BETWEEN	MOD	- MODULAR
CAB	- CABINET	MR	- MOISTURE RESISTANT
CJ	- CONSTRUCTION/ CONTRACTION JOINT	MTL	- METAL
CLG	- CEILING	NIC	- NOT IN CONTRACT
CLR	- CLEAR	NO	- NUMBER
CMU	- CONCRETE MASONRY UNIT	NOM	- NOMINAL
CO	- CLEAN OUT	NTS	- NOT TO SCALE
COL	- COLUMN	OC	- ON CENTER
CONC	- CONCRETE	OD	- OUTSIDE DIAMETER
COND	- CONDITION	OH	- OVER HEAD
CONT	- CONTINUOUS	OPNG	- OPENING
CONTR	- CONTRACTOR	OPP	- OPPOSITE
CPT	- CERAMIC TILE	OPP HD	- OPPOSITE HAND
CT	- COUNTER	PERI	- PERIMETER
CTR	- COUNTER	PERM	- PERMANENT
DF	- DRINKING FOUNTAIN	PL	- PLATE
DIA	- DIAMETER	PLAM	- PLASTIC LAMINATE
DIM	- DIMENSION	PLY	- PLYWOOD
DN	- DOWN	PSF	- POUNDS PER SQUARE FOOT
DTL	- DETAIL	PSI	- POUNDS PER SQUARE INCH
DWGS	- DRAWINGS	PT	- PAINT
EA	- EACH	PVC	- POLYVINYL CHLORIDE
EJ	- EXPANSION JOINT	R OR RAD	- RADIUS
EL	- ELEVATION	RD	- ROOF DRAIN
ELEC	- ELECTRIC / ELECTRICAL	REF	- REFERENCE
ELEV	- ELEVATOR	REINF	- REINFORCING
EMBED	- EMBEDMENT	REQ'D	- REQUIRED
EMER	- EMERGENCY	RH	- RIGHT HAND
EPDM	- ETHYLENE PROPYLENE DIENE MONOMER	RM	- ROOM
EQ	- EQUAL	RO	- ROUGH OPENING
EW	- EACH WAY	SCHED	- SCHEDULE
EWC	- ELECTRIC WATER COOLER	SEC	- SECTION
EWB	- ELECTRIC WATER HEATER	SF	- SQUARE FOOT
EXIST	- EXISTING	SI	- SQUARE INCH
EXP	- EXPANSION	SIM	- SIMILAR
EXT	- EXTERIOR	SK	- SINK
FD	- FLOOR DRAIN	SOG	- SLAB ON GRADE
FE	- FIRE EXTINGUISHER	SPEC	- SPECIFICATION(S)
FEC	- FIRE EXTINGUISHER CABINET	SS	- SERVICE SINK
FIN	- FINISH	STD	- STANDARD
FLR	- FLOOR	STL	- STEEL
FRP	- FIBER REINFORCED PLASTIC	STRUCT	- STRUCTURAL OR STRUCTURE
FTG	- FOOTING	SUSP	- SUSPEND(ED)
FURN	- FURNACE	T	- TREAD
GA	- GAUGE	T&G	- TONGUE AND GROOVE
GC	- GENERAL CONTRACTOR	T/B	- TOP OF BEAM
GL	- GLASS	T/C	- TOP OF CURB
GW/H	- GAS WATER HEATER	T/F	- TOP OF FOUNDATION
GW/B	- GYPSUM WALL BOARD	T/S	- TOP OF SLAB
H	- HIGH	T/STL	- TOP OF STEEL
HB	- HOSE BIB	T/W	- TOP OF WALL
HGT	- HEIGHT	TH	- THICK
HM	- HOLLOW METAL	TOM	- TOP OF MASONRY
HORIZ	- HORIZONTAL	TYP	- TYPICAL
HTG	- HEATING	UNO	- UNLESS NOTED OTHERWISE
HVAC	- HEATING/ VENTILATING AIR CONDITIONING	VCT	- VINYL COMPOSITION TILE
ID	- INSIDE DIAMETER	VERT	- VERTICAL
IN	- INCH	W	- WIDE OR WIDTH
INCL	- INCLUDE(D)	W/	- WITH
INSUL	- INSULATION OR INSULATING	W/O	- WITHOUT
INT	- INTERIOR	WID	- WOOD
INV	- INVERT	WP	- WATER PROOF
		WR	- WATER RESISTANT
		WWF	- WELDED WIRE FABRIC

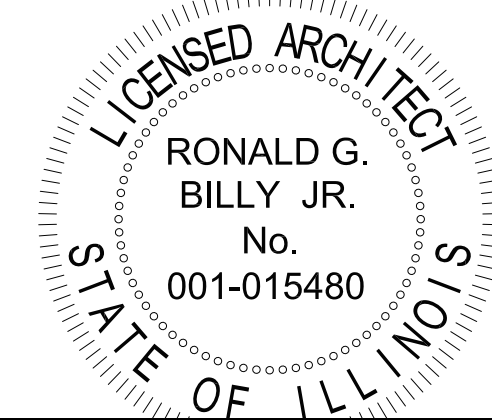
STANDARD ABBREVIATIONS



STATEMENT OF COMPLIANCE

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 111. ADM. CODE 400)

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES.



Signed: Architect/Engineer

ILLINOIS REGISTRATION NO.: 001-023314
Exp. Date: 11/30/24
ILLINOIS PROFESSIONAL DESIGN FIRM
REGISTRATION NO. 184003452

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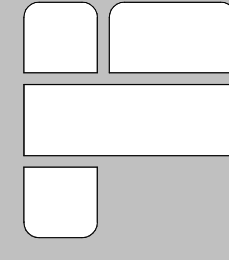
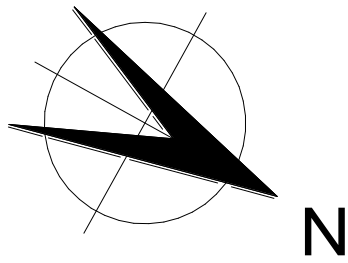
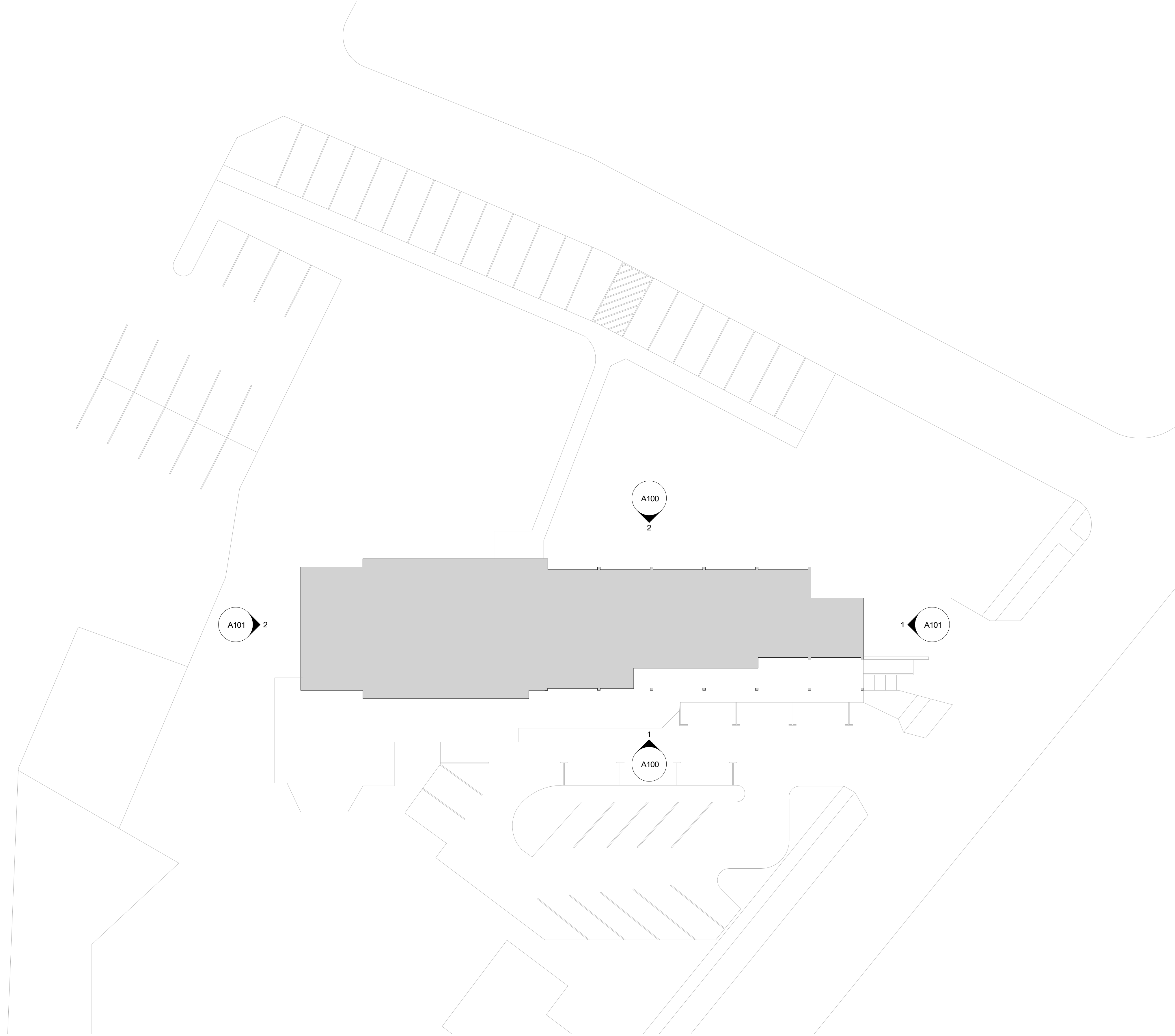
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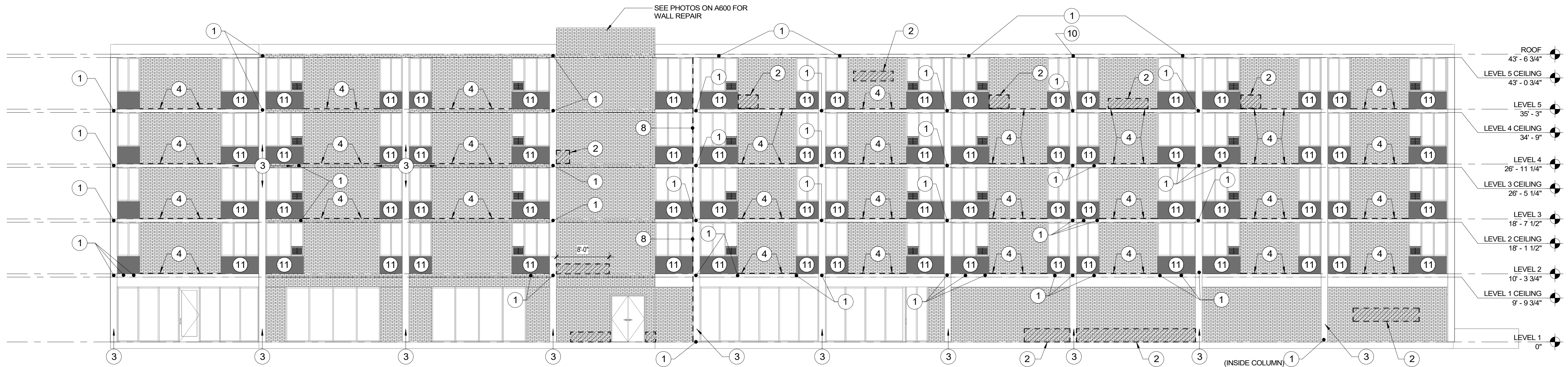
CIVIC APARTMENTS MASONRY
POINTING AND CONCRETE REPAIRS
SYCAMORE, ILLINOIS
23-16010
01/19/2024
JWK
Appl.
Dm.
Date

REVISION DATE

Sheet No:
G000

1 SITE PLAN
Scale: 1" = 20'-0"





1 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"

ELEVATION KEYNOTES (A202)

	Keynote
1	EXISTING SPALLED CONCRETE AT THIS LOCATION TO BE REPAIRED AS NECESSARY TO MATCH EXISTING CONDITIONS. PREPARE PRIME AND PAINT REPAIRED AREA OF CONCRETE AND MATCH ADJACENT CONCRETE PAINT FINISH.
2	EXISTING AREA OF BRICK TO BE REPLACED AS NECESSARY AND REPOINTED PER DETAILS ON A600. IT IS CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL LOCATIONS AND EXTENT OF BRICK AND MORTAR REPLACEMENT.
3	EXISTING EXTERIOR CONCRETE TO BE PREPARED, CLEANED, PRIMED AND PAINTED IN ITS ENTIRETY WITH ELASTOMERIC PAINT. ALL OVERSPRAY SHALL BE CLEANED AND CORRECTED BY CONTRACTOR AS NECESSARY IN COORDINATION WITH PROJECT SCOPE.
4	EXISTING MORTAR JOINT TO BE GRINDED AND REPOINTED PER DETAILS ON A600 TO EXTENT SHOWN. REPLACE EXISTING BROKEN BRICK ALONG JOINT AS NECESSARY.
5	EXISTING EXTERIOR WALL MOUNTED LIGHT FIXTURE TO BE REMOVED AND RETAINED AS NECESSARY FOR NEW PAINTING WORK. TAKE CARE NOT TO DAMAGE EXISTING LIGHT FIXTURES. REINSTALL ALL EXISTING LIGHT FIXTURES IN SAME LOCATION AS REMOVED AFTER PAINTING BRICK OR CONCRETE
6	EXISTING EXTERIOR WALL MOUNTED SECURITY CAMERA TO BE REMOVED AND RETAINED AS NECESSARY FOR NEW PAINTING WORK. TAKE CARE NOT TO DAMAGE EXISTING SECURITY CAMERAS. REINSTALL ALL EXISTING SECURITY CAMERAS IN SAME LOCATION AS REMOVED AFTER PAINTING BRICK OR CONCRETE.
7	EXISTING EXTERIOR WALL MOUNTED PIPE OR CONDUIT TO REMAIN. TAKE CARE NOT TO DAMAGE EXISTING UTILITY PIPE OR CONDUIT.
8	EXISTING CAULK JOINT TO BE REMOVED AND REPLACED TO FULL EXTENT OF EXISTING. INSTALL NEW BACKERROD AS NECESSARY.
9	EXISTING EXTERIOR WALL MOUNTED LETTERS OR NUMBERS TO BE REMOVED AND RETAINED AS NECESSARY FOR NEW PAINTING WORK. TAKE CARE NOT TO DAMAGE EXISTING LETTERS OR NUMBERS. REINSTALL ALL EXISTING LETTERS OR NUMBERS IN SAME LOCATION AS PREVIOUSLY EXISTING.
10	EXISTING LOCATION OF STAIN FROM RUST. REPAIR AREA AS NECESSARY AND FINISH WITH NEW BRICK OR PAINTED CONCRETE AS NECESSARY.
11	EXISTING PANEL BENEATH UNIT EXTERIOR WINDOWS ARE TO BE PREPARED, PRIMED AND PAINTED COLOR #02 TO EXTENT SHOWN. ALL OVERSPRAY SHALL BE CLEANED AND CORRECTED BY CONTRACTOR AS NECESSARY IN ACCORDANCE WITH PROJECT SCOPE.

ASSUME 600 LINEAL FOOT OF MASONRY
GROUNDING AND POINTING

ASSUME 100 LINEAL FEET OF JOINT
SEALANT

ASSUME 240 BRICKS FOR REPLACEMENT
ON EXTERIOR FACADES.

NOTE: CONTRACTOR TO APPLY "PROSOCO ENVIRON-KLEAN 2010 ALL-SURFACE CLEANER" TO ALL EXTERIOR MASONRY/CONCRETE SURFACES.

CONTRACTOR TO APPLY "PROSOCO SURE-KLEAN WEATHER SEAL SILOXINE PD" ON ALL EXTERIOR BRICK SURFACES.

BOTH PRODUCTS TO BE APPLIED IN COMPLIANCE WITH MANUFACTURER'S REQUIREMENTS

GENERAL NOTES:

- DEPICTION OF THE CONSTRUCTED PORTIONS OF THESE BUILDING PLANS AND DETAILS DO NOT REPRESENT "AS-BUILT" DRAWINGS OF ACTUAL EXISTING CONDITIONS, BUT GENERALLY REFLECT THE ORIGINAL CONSTRUCTION DOCUMENTS AND CASUAL FIELD OBSERVATIONS. BIDDER/CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, DIMENSIONS, SIZES, ELEVATIONS, EXTENT OF WORK IN PLACE AND WORK REQUIRED, QUANTITIES, LOCATIONS, CLEARANCES, AND SO ON, OF SUCH SUFFICIENCY TO ENABLE SUBMISSION OF FAITHFUL BIDS AND PRIOR TO COMMENCING CONSTRUCTION. COORDINATE WITH OWNER FOR AUTHORIZED STAGING AREAS, PARKING AND TEMPORARY PLACEMENT OF STORED MATERIALS. ANY DAMAGE TO EXISTING SURFACES AT STAGING AREAS OR AREAS OF OPERATION FOR THE REQUIRED WORK, INCLUDING STRUCTURES, PAVEMENTS, GROUNDS, VEHICLES, AND EQUIPMENT, SHALL BE REPAIRED OR REPLACED BY THIS CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
- PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE BY DEMOLITION AND NEW WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO PERFORM HIS WORK, AND IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.
- ALL BRICK SHOULD BE CONSIDERED AS STRUCTURAL AND LOAD BEARING.
- BUILDING JOINTS SHALL BE EXAMINED PRIOR TO APPLICATION OF SEALANTS. ANY CONDITIONS DETRIMENTAL TO ACHIEVING A POSITIVE, WEATHER TIGHT SEAL SHALL BE REMEDIED.
- ALL OPENINGS, JOINTS, OR CHANNELS TO BE SEALED SHALL BE THOROUGHLY CLEAN, DRY, AND FREE FROM DIRT, DUST, OIL, GREASE, OR OTHER FOREIGN MATTER.
- WHERE JOINTS ARE DEEPER THAN ONE HALF (1/2) INCH, POLYETHYLENE JOINT BACKING SHALL BE USED AND PACKED INTO THE JOINT TO WITHIN ONE HALF (1/2) INCH OF THE SURFACE. THE BACKING SIZE SELECTED SHALL ALLOW FOR A MINIMUM OF 30% COMPRESSION OF THE BACKING WHEN INSERTED INTO THE JOINT.
- WHERE JOINTS ARE THREE QUARTER (3/4) INCH WIDE, POLYETHYLENE JOINT BACKING SHALL BE PLACED SO THE DEPTH OF THE JOINT TO RECEIVE SEALANTS DOES NOT EXCEED ONE QUARTER (1/4) INCH.
- SEALANTS SHALL BE APPLIED VIA A PRESSURE TYPE GUN AND THROUGH A NOZZLE OF SUCH DIAMETER SO THE FULL BEAD OF SEALANT IS GUINED INTO THE JOINT, FILLING THE JOINT COMPLETELY.
- ALL SEALANT/CAULK BEADS SHALL BE TOOLED IMMEDIATELY UPON APPLICATION TO INSURE FIRM, FULL CONTACT WITH THE INNER FACES OF THE JOINTS. EXCESS MATERIAL SHALL BE STRUCK OFF WITH A TOOLING STICK OR KNIFE.
- FINISHED SEALANT/CAULK BEADS SHALL BE FLUSH WITH THE SURFACES, OR AS OTHERWISE INDICATED.
- CAULKING SHALL BE OUTLINED WITH MASKING TAPE TO OBTAIN A NEAT AND UNIFORM APPEARANCE.
- CAULKED MOVEMENT AND STRUCTURAL CRACKS SHALL BE DUSTED WITH A FINE GRADE LAKE SAND TO ATTAIN THE APPEARANCE OF MORTAR AS CLOSELY AS POSSIBLE.

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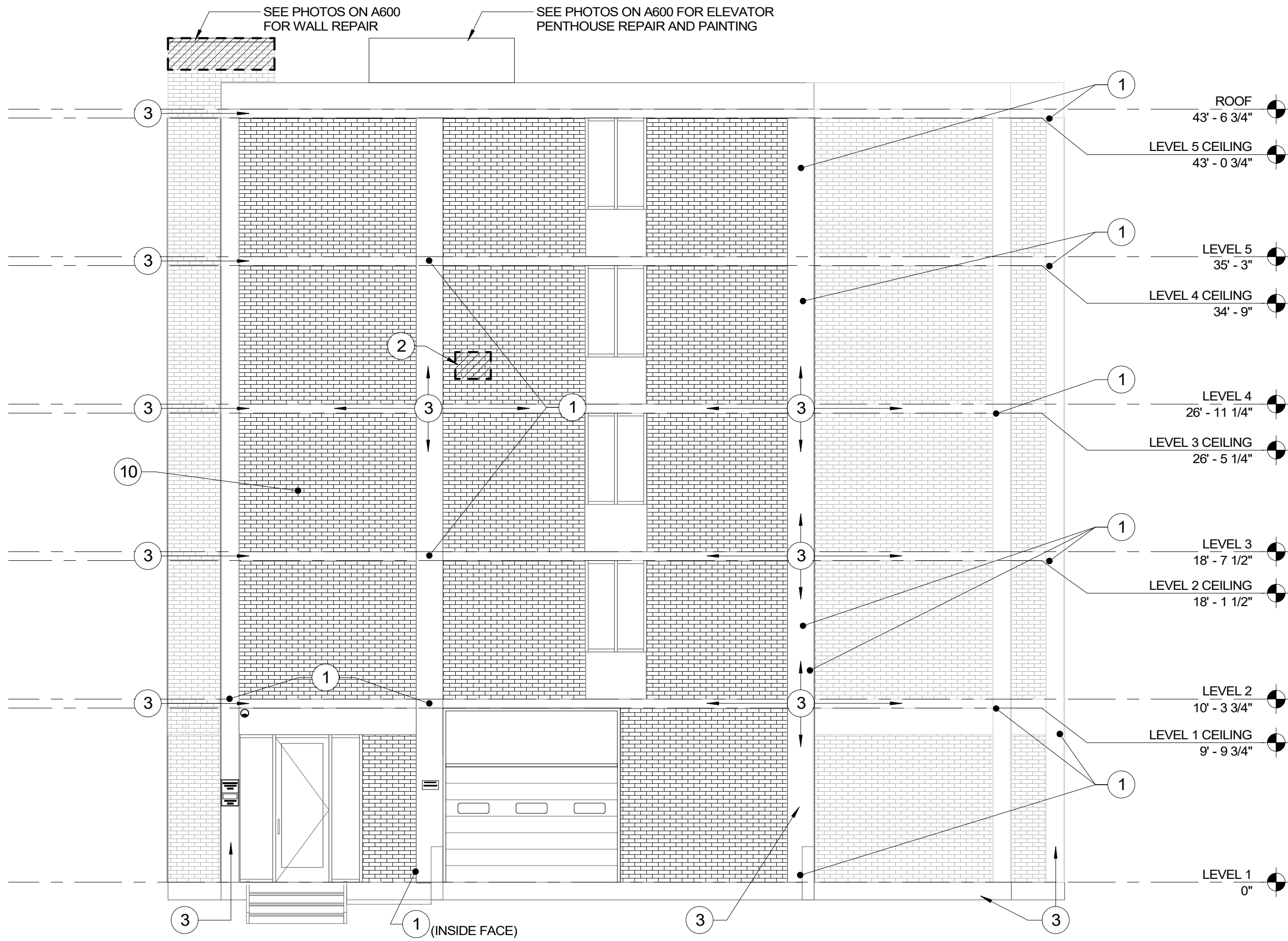
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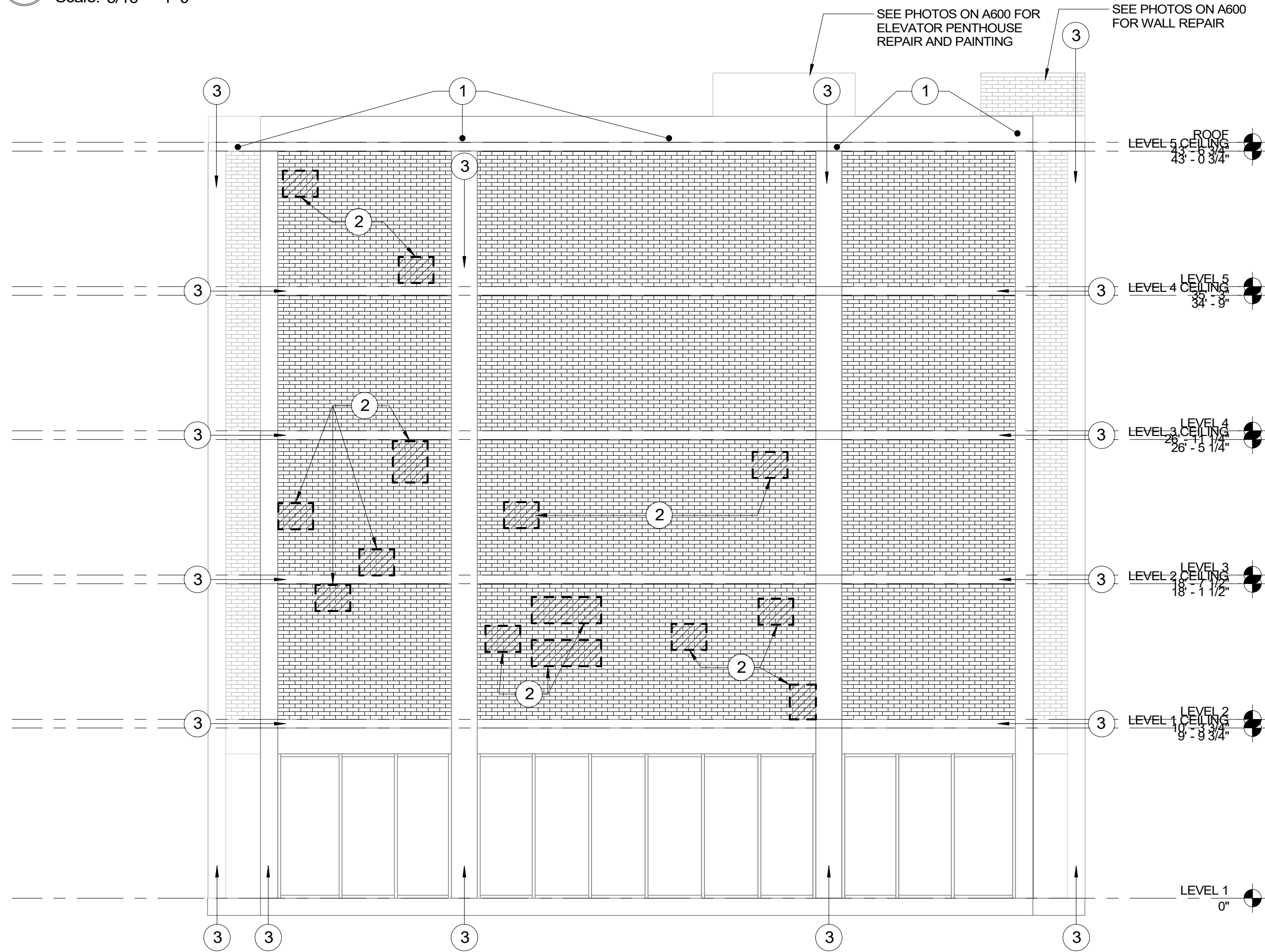
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