

LEWIS COURT APARTMENTS - SIDEWALK REPLACEMENT

1919
Architects

PROJECT GENERAL NOTES

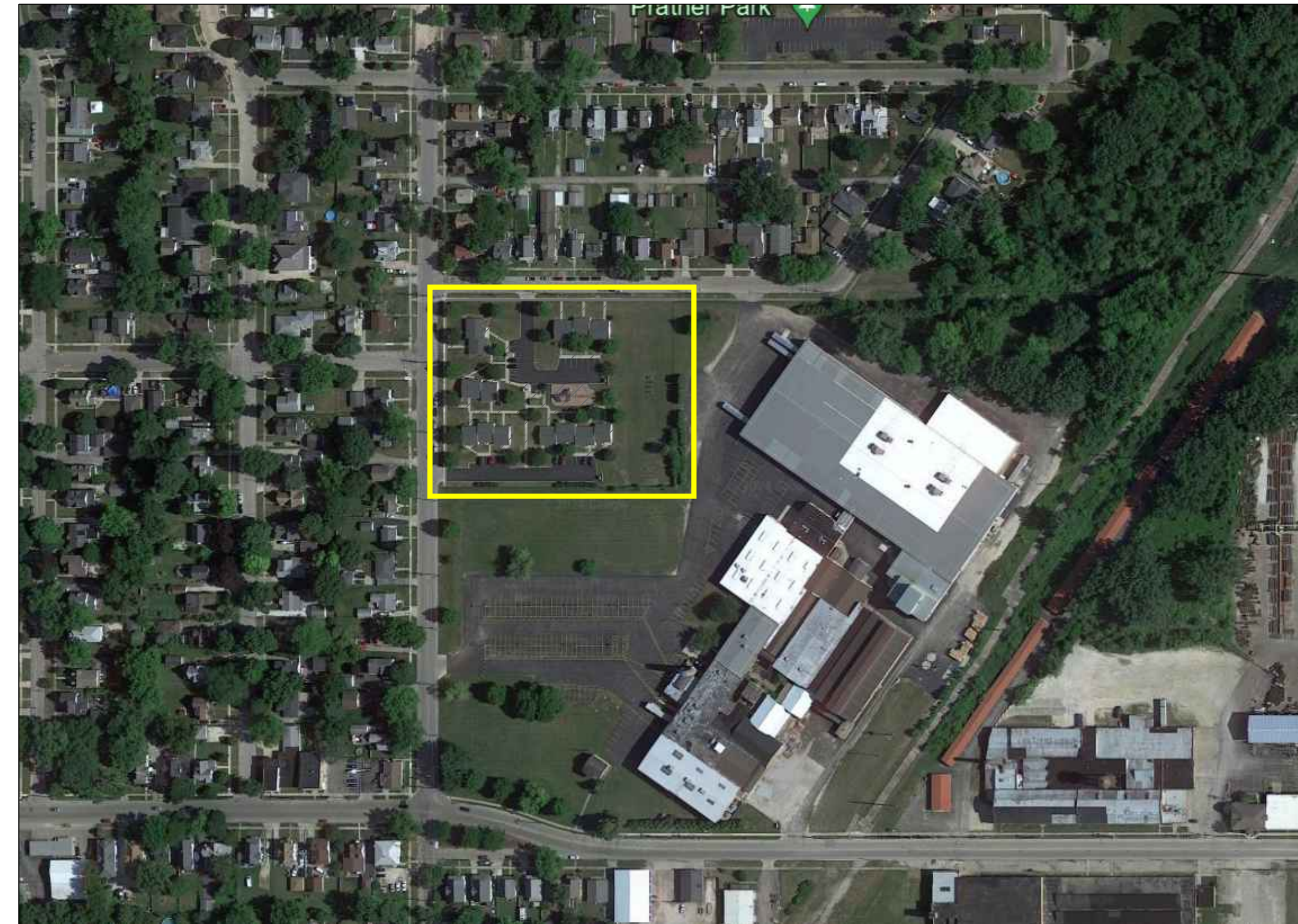
- ALL NEW PAVING AND ASPHALT ELEVATIONS ARE TO MATCH EXISTING ELEVATIONS FROM PRIOR TO DEMOLITION WORK.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNERS A/E OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION BY CALLING J.U.L.I.E. +1 (800)892-0123
- THE CONTRACTOR IS RESPONSIBLE FOR PREPARING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO ROADWAY BASE AND SURFACE CONSTRUCTION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF ALL THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE THE LATEST REVISIONS AND/OR LATEST EDITION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNERS A/E SHOP DRAWINGS ON ALL MANUFACTURED ITEMS (IF APPLICABLE).
- AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE A/E AND OTHER APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL APPROVED SHOP DRAWINGS, THE CONTRACTORS NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE A/E OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTORS EXPENSE.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR AND UTILITY COMPANIES.
- ALL DISTURBED AREAS WITHIN PUBLIC RIGHT-OF-WAY ARE TO BE RESTORED TO ORIGINAL CONDITIONS OR BETTER.
- REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
- ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION, WHICH ARE NOT TO BE SODDED ARE TO BE SEEDDED AND MULCHED TO CITY OF DEKALB STANDARDS AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS ACCEPTABLE TO THE REGULATORY AGENCY AND A/E OF RECORD HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR/SUBCONTRACTOR UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND A/E OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING, ADJUSTING, OR RECONSTRUCTING EXISTING UTILITIES REQUIRED BY THE SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL GRADES, DIMENSIONS, AND AREAS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN HIS PRICE ALL REMOVAL AND DISPOSAL OF MATERIALS AS REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE SAFE, HANDICAPPED ACCESSIBLE ACCESS FOR THE PUBLIC, RESIDENTS, VISITORS, AND EMPLOYEES, PER ADA REQUIREMENTS. COORDINATE WORK AND CONSTRUCTION SEQUENCING AS NECESSARY TO COMPLY WITH BUILDING EGRESS CODE REQUIREMENTS.
- SEE SPECIFICATIONS FOR SIDEWALK FINISH.
- PROVIDE DETECTABLE WARNING IN ACCORDANCE WITH ADA AND IDOT REQUIREMENTS AT ALL RAMP AND ALL WALKS FLUSH WITH ADJACENT PAVEMENT AS REQD IN NEW PAVING SCOPE OF WORK.
- ALL IMPROVEMENTS ON PUBLIC PROPERTY SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY CODES AND REQUIREMENTS.
- ACCESSIBLE ROUTES: MAXIMUM SLOPE ON WALKS & PAVED SURFACES IS 5%. MINIMUM SLOPE ON WALKS AND PAVED SURFACES IS 1.5%. (SEE SITE PLAN FOR AREAS WHERE EXISTING CONDITIONS PREVENT COMPLIANCE). MAXIMUM CROSS SLOPE ON ALL SIDEWALKS IS 2.0%.
- ACCESSIBLE PARKING: MAXIMUM SLOPE ON WALKS & PAVED SURFACES AT ACCESSIBLE PARKING IS 2.0% IN ANY DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMIT(S) REQUIRED BY THE CITY OF DEKALB, AND ANY ASSOCIATED FEES, BONDS, PROOF OF INSURANCE, ETC.
- SAW CUT AND REMOVE WALKS, CURBS AND GUTTERS, AND PAVEMENT DAMAGED DURING CONSTRUCTION. REPLACE WITH NEW LIKE KIND IN ACCORDANCE WITH GOVERNING AUTHORITY CODES AND REQUIREMENTS.
- TOPSOIL SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES AND BE PLACED ON ALL DISTURBED AREAS.
- THE CONTRACTOR SHALL SHALL COORDINATE WITH THE OWNER FOR AUTHORIZED STAGING AREAS, PARKING, AND TEMPORARY PLACEMENT OF STORED MATERIALS. ANY DAMAGE TO EXISTING SURFACES AT STAGING AREAS OR AREAS OF OPERATION FOR THE REQUIRED WORK, INCLUDING PAVEMENTS, GROUNDS, VEHICLES, AND EQUIPMENT, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE CONTRACT.

28. GRANULAR TRENCH BACKFILL, WITH MECHANICAL COMPACTION, IN ACCORDANCE WITH IDOT SPECIFICATIONS, SHALL BE PROVIDED AT ALL SEWERS, AND OTHER UTILITY TRENCHES UNDER WALKS AND PAVEMENT AREAS.

LOCATION: 14TH STREET & LEWIS STREET
DEKALB, IL 60115

LANDLORD: HOUSING AUTHORITY OF THE COUNTY OF DEKALB
310 N 6TH STREET
DEKALB IL 60115

ARCHITECT: 1919 ARCHITECTS
4000 MORSAY DRIVE
ROCKFORD, IL 61107



1 SITE MAP
G-1.0 SCALE: NTS



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GENERAL	
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SITE	
C-1	SITE DEMOLITION PLAN
C-2	SITE RENOVATION PLAN
C-3	DETAILS
C-4	DETAILS

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25 Code, (71 Ill. Adm. Code 400)) and the Illinois Accessibility

Signed: _____
Architect/Engineer

ILLINOIS REGISTRATION NO.: 001-015480
Exp. Date: 11/30/24
PROFESSIONAL DESIGN FIRM NO.: 184.003452

LEGEND OF SYMBOLS

	AREA OF CONCRETE TO BE REMOVED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
	AREA OF NEW ASPHALT
	NEW 5" THK. CONCRETE
	ACCESSIBLE CURB RAMP
	ENTRY DOOR STOOP

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ARCHITECT	BIDDING CO.
OWNER	CONTRACTOR

LEWIS COURT - SIDEWALK REPLACEMENT

LEWIS COURT APARTMENTS 14TH STREET & LEWIS STREET DEKALB, IL 60115	Rev. Date
07-08-2024	
24-16350	
Project Number	

COVER

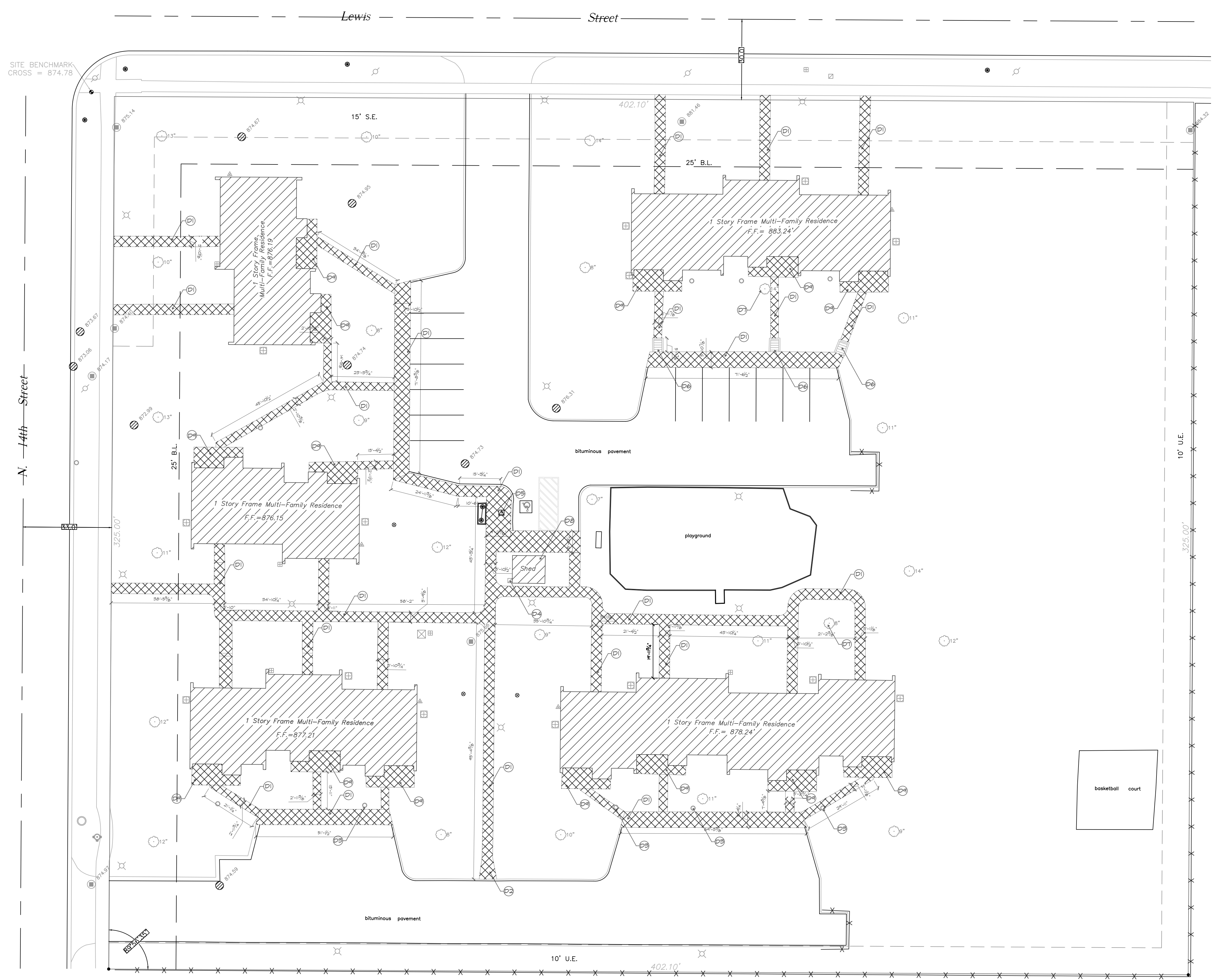
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KEYNOTE LEGEND (DEMOLITION PLAN)

- D1 SAW CUT AND REMOVE 4" (ASSUMED) THK. CONCRETE WALK.
- D2 CONCRETE CURB TO BE SAW CUT AND REMOVED.
- D3 EXISTING WATER VALVE TO REMAIN - TAKE CARE NOT TO DAMAGE.
- D4 EXISTING UTILITY HAND HOLE TO REMAIN - TAKE CARE NOT TO DAMAGE.
- D5 EXISTING ELECTRIC METERS TO REMAIN - TAKE CARE NOT TO DAMAGE.
- D6 REMOVE STAIR, RAILINGS AND FOUNDATION.
- D7 REMOVE TREE AND GRIND STUMP BELOW GRADE.
- D8 EXISTING SHED TO BE TEMPORARILY REMOVED.
- D9 REMOVE ENTRY DOOR STOOP.
- D10 EXISTING PARKING BARRIER TO BE TEMPORARILY REMOVED, PAINTED AND STORED FOR LATER REINSTALLATION.

LEGEND (SITE PLAN)

- Manhole
- Storm sewer basin
- Utility pedestal
- Utility pole
- Light pole
- Utility hand hole
- Electric transformer
- Electric meters
- Fire hydrant
- Water valve vault
- Water valve
- Air conditioner
- Tree
- Sign
- Post
- Mailbox



SEE SHEET G-1 FOR
PROJECT GENERAL
NOTES, SITE PLAN
KEYNOTES AND
LEGEND OF SYMBOLS

1 SITE DEMOLITION PLAN
C-1 SCALE: 1" = 20'-0"

SITE DEMOLITION PLAN	Rev. Date	ARCHITECT	BIDDING CO.
	Sheet No.	OWNER	CONTRACTOR
	24-16350	LEWIS COURT APARTMENTS 14TH STREET & LEWIS STREET DEKALB, IL 6015	RGE
	07-08-2024		GF
	Date		Appr.
	Project Number		

LEWIS COURT - SIDEWALK REPLACEMENT

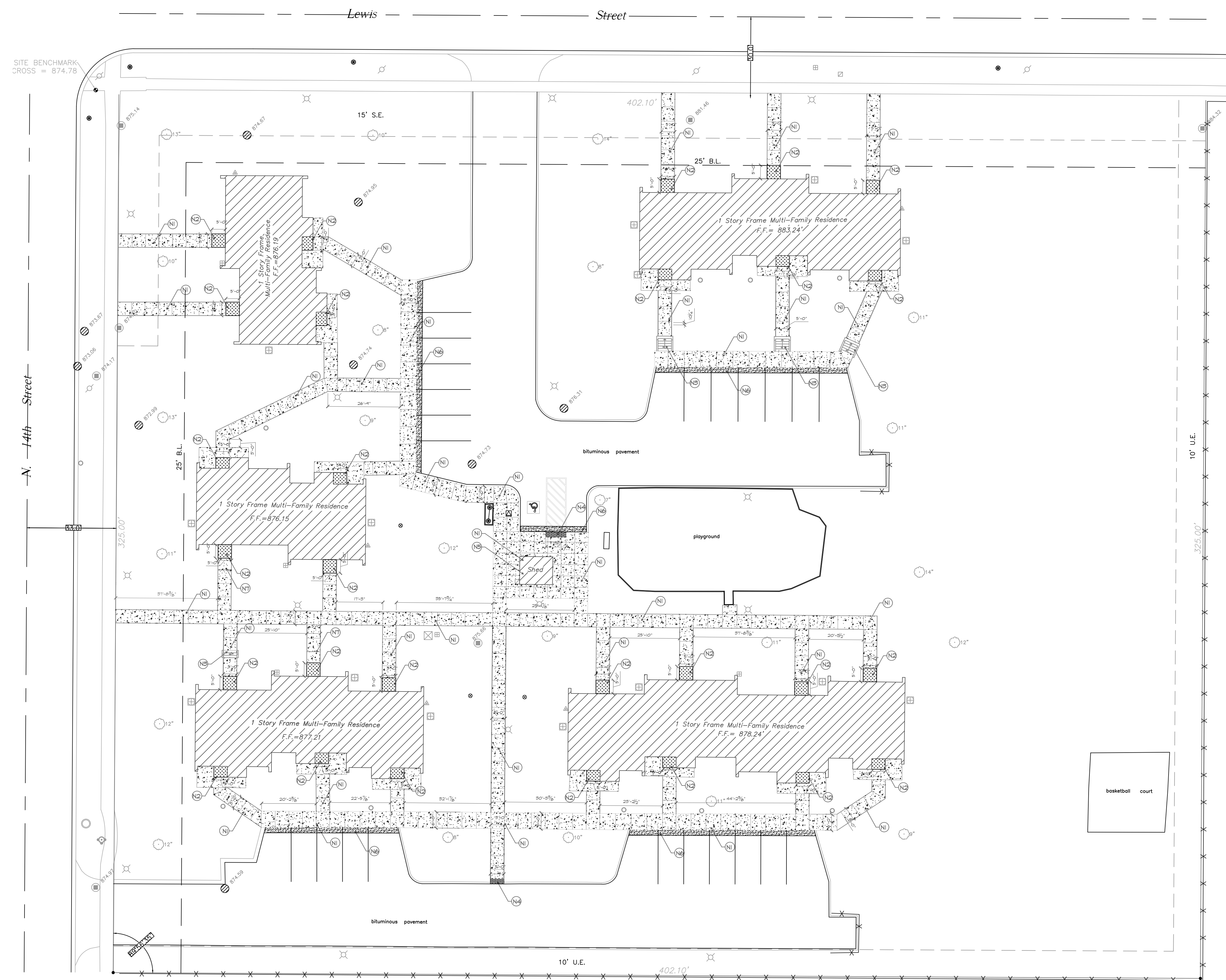
KEYNOTE LEGEND (NEW WORK PLAN)

- (N1) INSTALL 4" THK. CONCRETE WALK OVER COMPACTED BASE - SEE DETAIL 3/C-3.
- (N2) INSTALL NEW CONCRETE ENTRY DOOR STOOP. SEE DETAIL 6/C4.
- (N3) INSTALL NEW CONCRETE STAR AND RAILING. SEE DETAIL 1-2-3-4-5/C4.
- (N4) INSTALL ACCESSIBLE CURB RAMP.
- (N5) RELOCATE EXISTING SHED.
- (N6) PROVIDE NEW BITUMINOUS PAVEMENT ADJACENT TO NEW SIDEWALK LOCATION.
- (N7) INSTALL NEW CONCRETE STEP. SEE DETAIL 7/C3.

LEGEND (SITE PLAN)

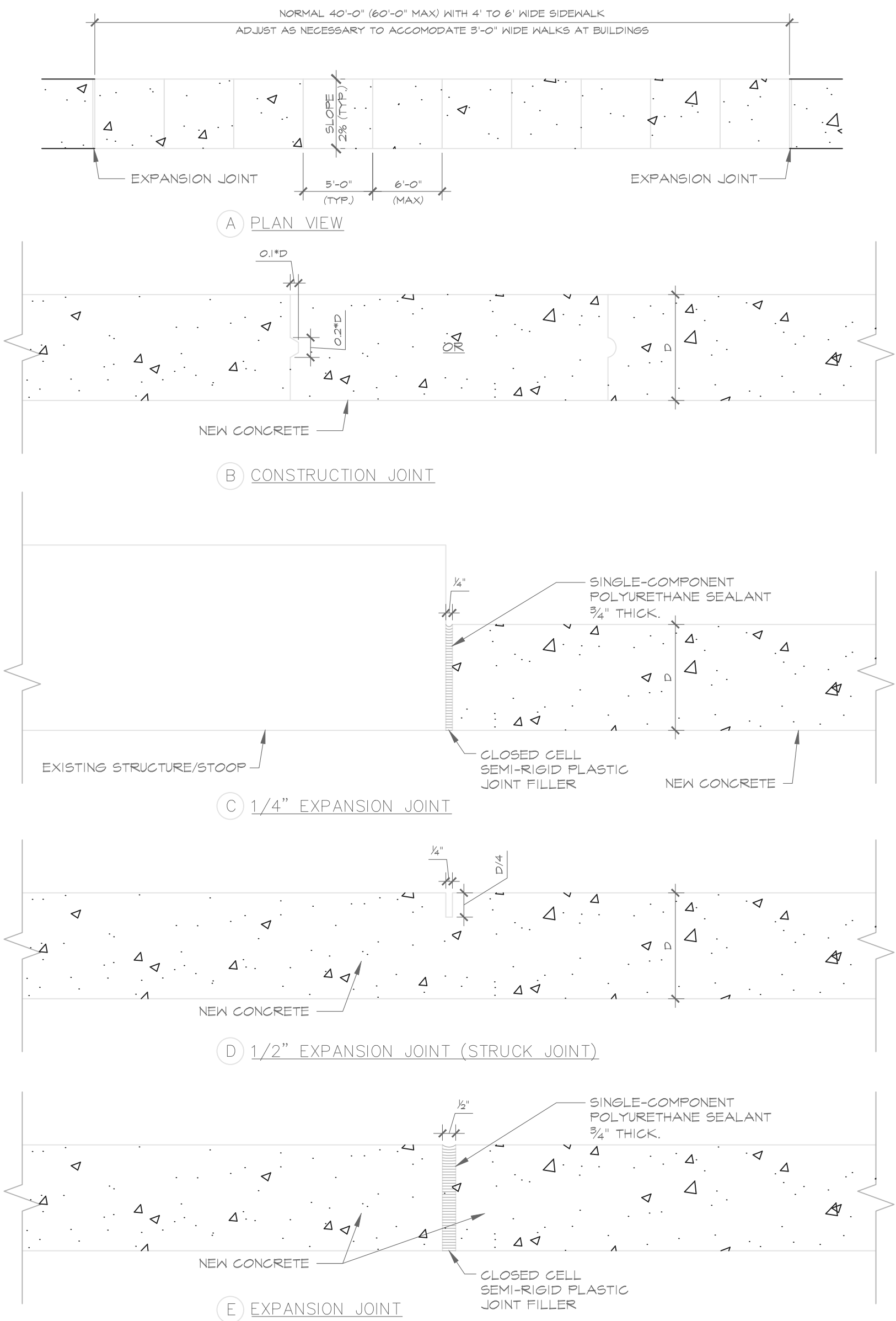
- Manhole
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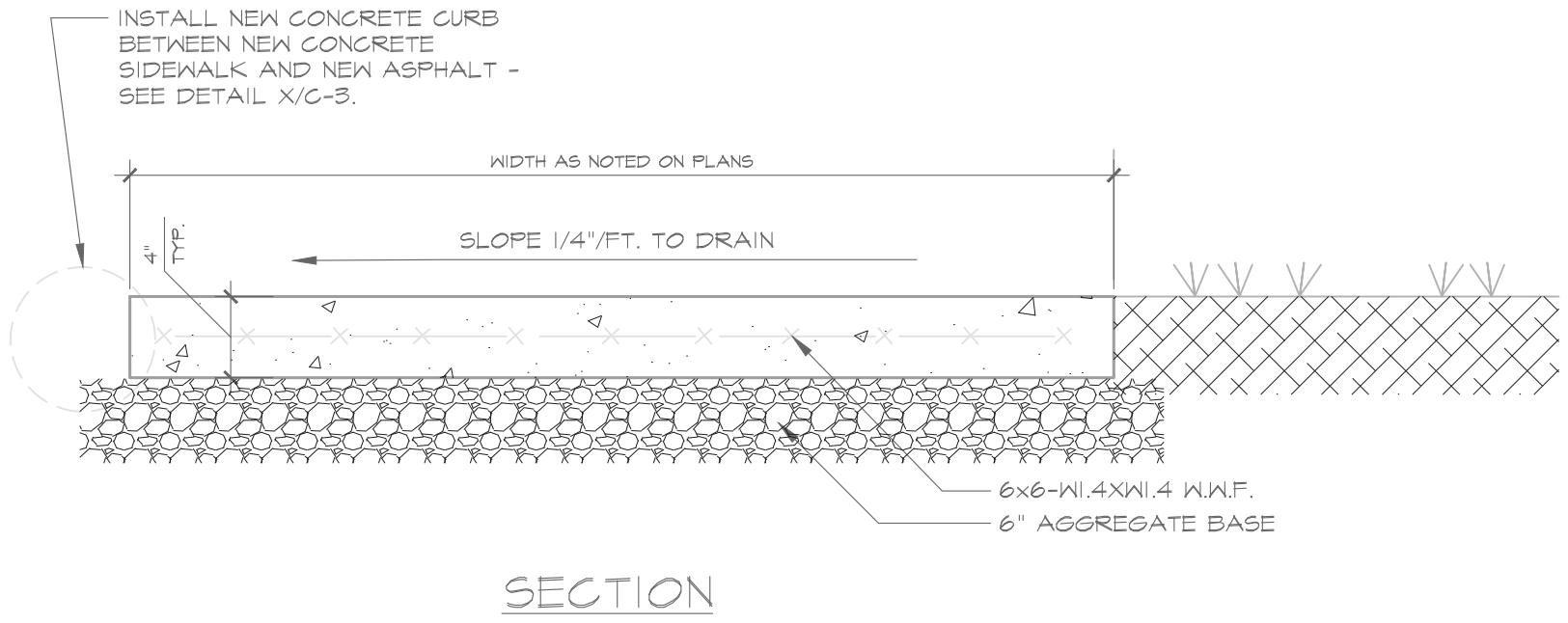


1 SITE NEW WORK PLAN
C-2 SCALE: 1" = 20'-0"

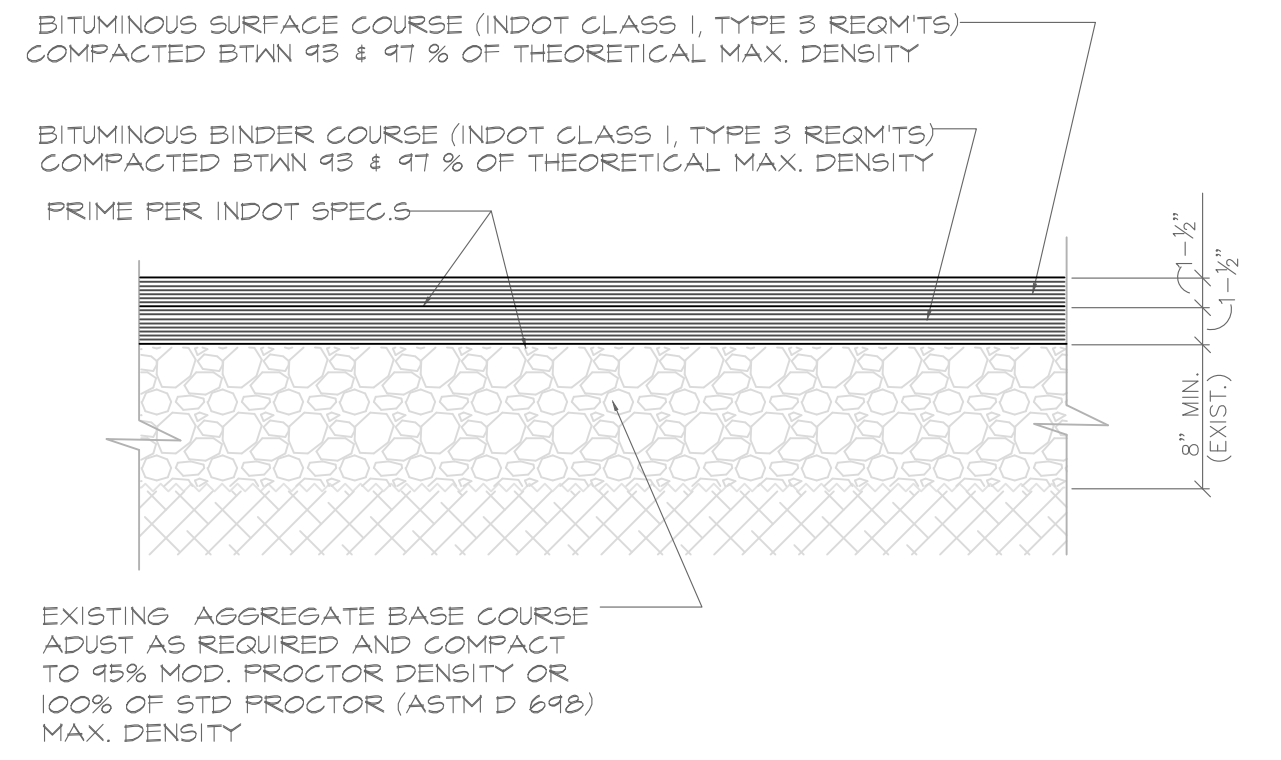
NOTES (1/C-3):
1. SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING IS 6'-0".
2. EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FILL DEPTH OF CONCRETE.



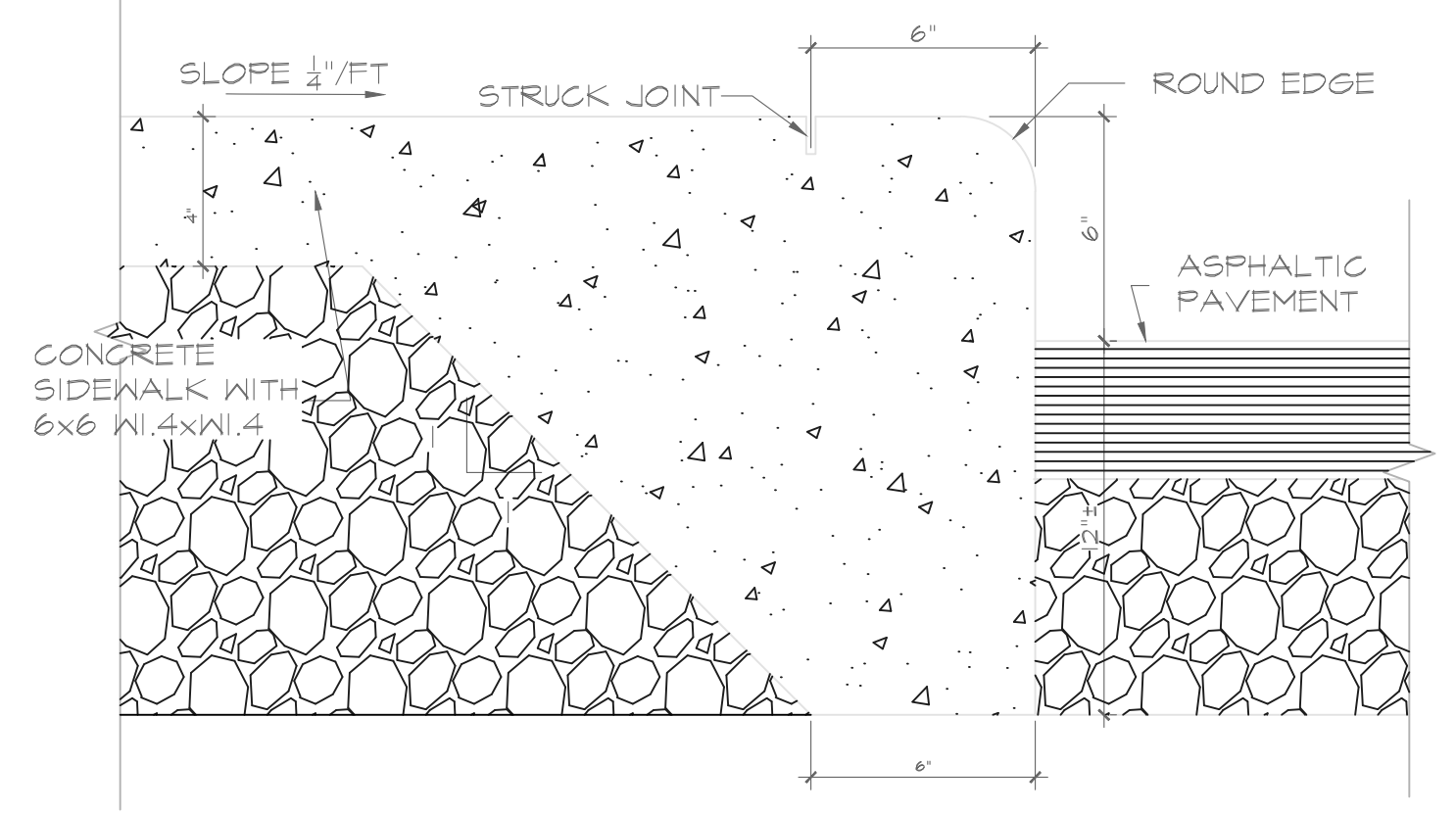
1 TYPICAL SIDEWALK
3" = 1'-0"



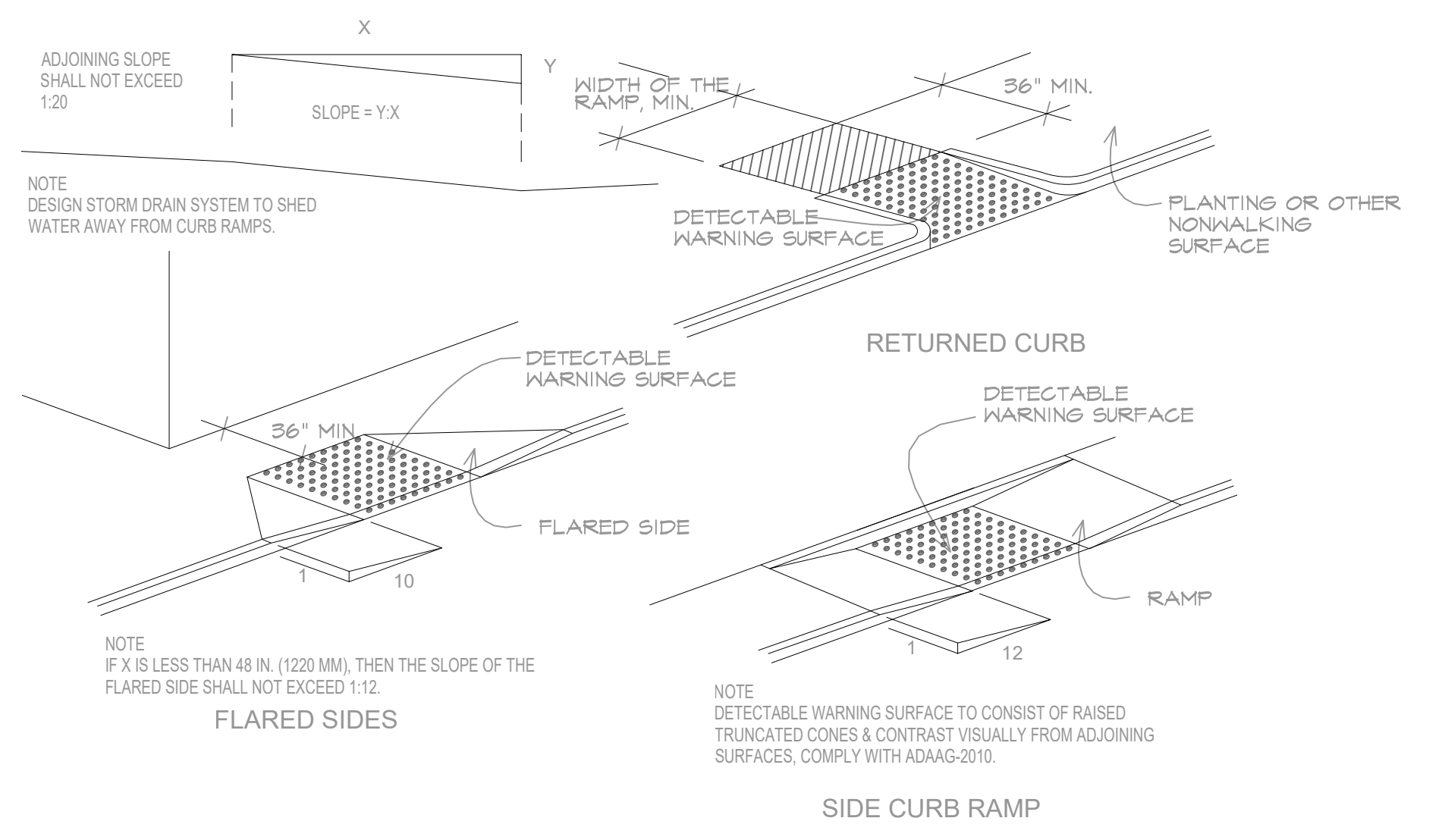
3 CONCRETE WALK DETAIL
1 1/2" = 1'-0"



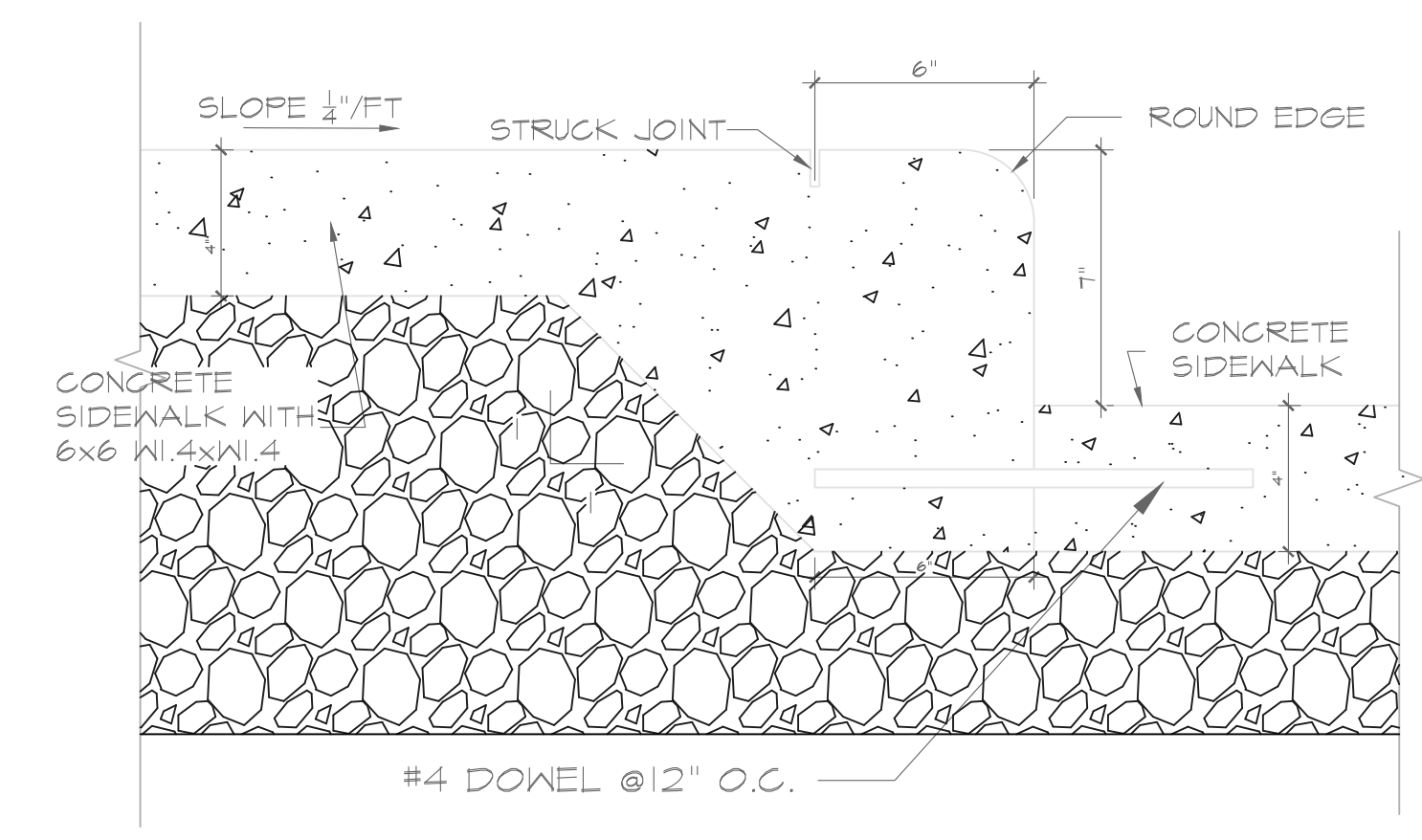
4 BITUMINOUS SURFACE REPLACEMENT SECTION
NO SCALE



5 FLUSH TURNED DOWN SIDEWALK DETAIL
NO SCALE



6 ACCESSIBLE CURB RAMP
N.T.S.



7 CONCRETE STEP SIDEWALK DETAIL
NO SCALE

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Sheet No.	C-3		

